

CLIENT:

INTERIOR RENOVATION
MILLHAVEN - GLENN FOREST COMMUNITY

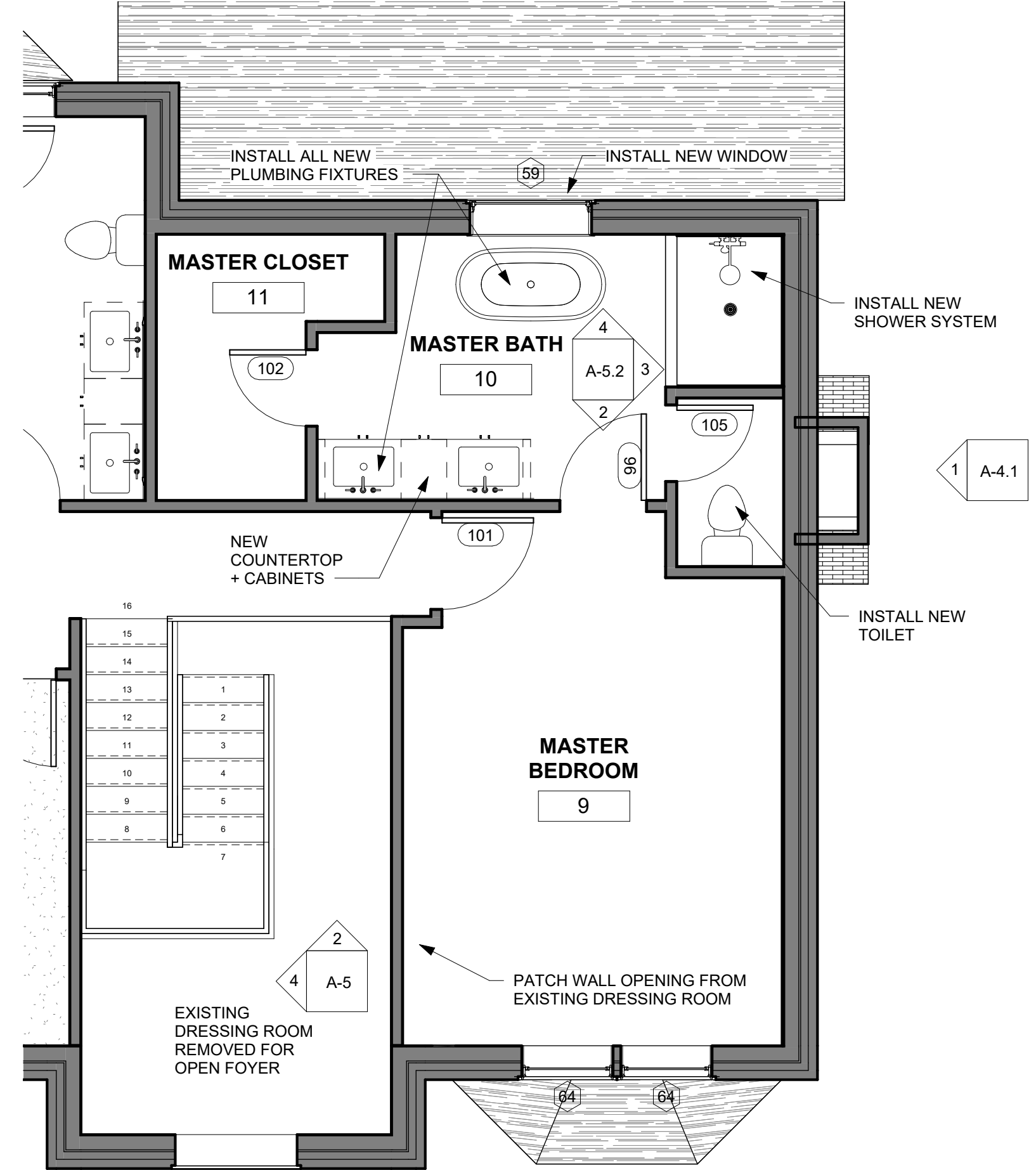
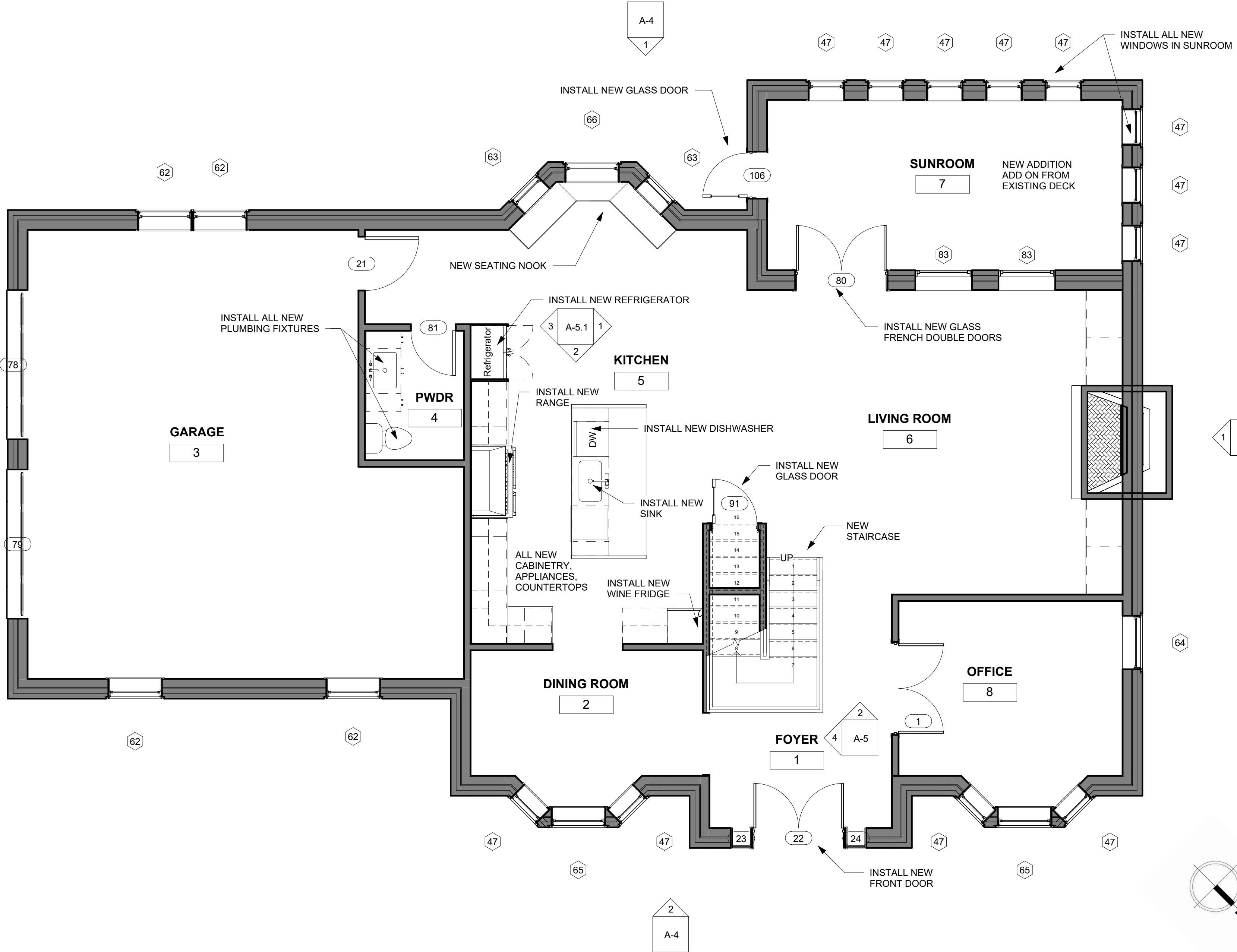
200 Dares Ferry Rd.
Spartanburg, SC 29302

ISSUE FOR: CODE REVIEW

Date Issue Date

DETAILED KEY PLAN

A-3



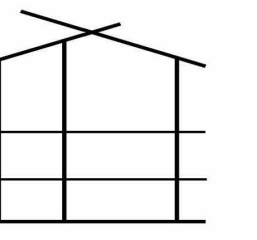
1 Level 1 - Detailed Key Plan
1/4" = 1'-0"

2 Enlarged Level 2 - Detailed Key Plan
1/4" = 1'-0"

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SOUTH CAROLINA BUILDING CODE AND WITH THE REQUIREMENTS OF THE CITY OF SPARTANBURG, STATE & NATIONAL LAWS AND CODES, ANY DISCREPANCIES BETWEEN THE PLANS AND ABOVE REQUIREMENTS MUST BE CALLED TO THE ARCHITECTS ATTENTION BEFORE PROCEEDING WITH THE WORKS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE PLANS. HE MUST FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK AND REPORT TO THE ARCHITECT TO CLARIFY ANY DISCREPANCIES: CONTRACTOR MUST COORDINATE THE WORK OF ALL TRADES AND INSURE THAT ALL WORK CAN BE COMPLETE AS IT IS THE INTENT OF THE PLANS.
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING HIS CONTRACTOR'S PERMITS, INSPECTIONS AND APPROVALS FROM GOVERNING AGENCIES WITH JURISDICTION OVER THE PROJECT BEFORE BEGINNING WORK.
4. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE REQUIREMENTS OF THE UTILITY COMPANIES INCLUDING THE CITY OF SPARTANBURG PUBLIC WORKS DEPARTMENT.
5. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
6. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
7. ALL DRAWINGS AND COPIES THAT FORM PART OF THIS DOCUMENT FURNISHED BY THE ARCHITECT ARE THEIR PROPERTY. THEY ARE NOT TO BE USED ON OTHER WORK AND ARE TO BE RETURNED UPON DEMAND AT THE COMPLETION OF THE WORK. IF THESE DRAWINGS OR ANY PART THEREFORE ARE USED IN ANY MANNER WITHOUT THE CONSENT OF THE ARCHITECT, THE USER THEREOF BECOMES INDEBTED TO THE ARCHITECT FOR FULL PROFESSIONAL FEES.
8. THE GENERAL CONTRACTOR MAY SUBSTITUTE EQUIPMENT AND/OR MATERIALS AS LONG AS SUCH CHANGES MEET ALL F.B. CODE REQUIREMENTS AND ARE EQUAL TO THOSE SPECIFIED ON PLANS AND OBTAINS OWNER'S APPROVAL IN WRITING AND BUILDING DEPARTMENT APPROVAL.
9. GUARANTEES: THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT AGAINST DEFECTS OF EQUIPMENT, MATERIALS, AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OR FINAL ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE REPAIR AND REPLACE ALL SUCH DEFECTIVE WORK OR MATERIALS DURING THE TERM OF THE GUARANTEE.
10. WORKMANSHIP: ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADE HIGHEST LEVEL OF WORKMANSHIP WILL BE REJECTED. ANY WORK REJECTED SHALL BE REDONE AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED, AT CONTRACTOR'S EXPENSE. CORRECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN FIVE DAYS AFTER NOTICE IS GIVEN THE CONTRACTOR.
11. SAFETY OF PERSONS AND PROPERTY: THE CONTRACTOR IS RESPONSIBLE FOR ALL REASONABLE SAFETY PRECAUTIONS TO PROTECT PEOPLE AFFECTED BY THE WORK, THE WORK ITSELF AND OTHER PROPERTY AT THE SITE OR ADJACENT TO IT.
12. IT IS A GENERAL REQUIREMENT THAT ALL MATERIAL AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE APPLICABLE STANDARD SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.
13. CLEANUP: THE CONTRACTOR AND ALL TRADES SHALL AT ALL TIMES KEEP THE PREMISES CLEAN OF DEBRIS ARISING OUT OF THE WORK AND FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR OTHER TRADES. THE CONTRACTOR SHALL PROVIDE AT ALL TIMES A TRASH CONTAINER ADEQUATE FOR THIS JOB. THE CONTRACTOR SHALL DELIVER ALL WORK UPON COMPLETION OF THE JOB IN A CLEAN, READY-TO-USE CONDITION. ALL FINISHED SURFACES SHALL HAVE PROTECTIVE COVERINGS REMOVED, AND SURFACES CLEANED OF ALL MARKS, STAINS, SOIL, PAINT, OR ADHESIONS OF THE MATERIALS AND LEFT IN PERFECT CONDITION. BESIDES THE GENERAL VACUUM CLEANING, FINISHED SURFACES SHALL BE WASHED, WAXED AND POLISHED WHERE APPLICABLE. EXTERIOR AREAS AFFECTED BY CONSTRUCTION SHALL BE RAKED CLEAN OF DEBRIS. DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED.
14. ALL DETAILS, SECTIONS, DIAGRAMS, ETC. INDICATED AS "TYPICAL" ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE PROJECT.
15. DO NOT SCALE DRAWINGS. DIMENSIONS AND/OR EXISTING CONDITIONS GOVERN. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES

THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF ANNA LEE AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION. COPY WRITE 2022



ANNA LEE
INTERIOR DESIGN

CLIENT:

INTERIOR RENOVATION
MILLHAVEN - GLENN FOREST COMMUNITY

200 Dares Ferry Rd.
Spartanburg, SC 29302

ISSUE FOR: CODE REVIEW

Date Issue Date

EXTERIOR
ELEVATIONS

A-4

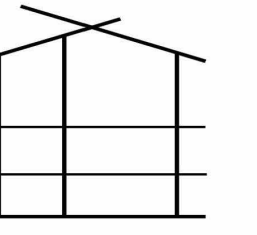
11/29/2022 4:51:22 PM



1
A-4 Elevation - South West
1/4" = 1'-0"



2
A-4 Elevation - North East
1/4" = 1'-0"



ANNA LEE
INTERIOR DESIGN

CLIENT:

INTERIOR RENOVATION
MILLHAVEN -GLENN FOREST COMMUNITY

200 Dares Ferry Rd.
Spartanburg, SC 29302

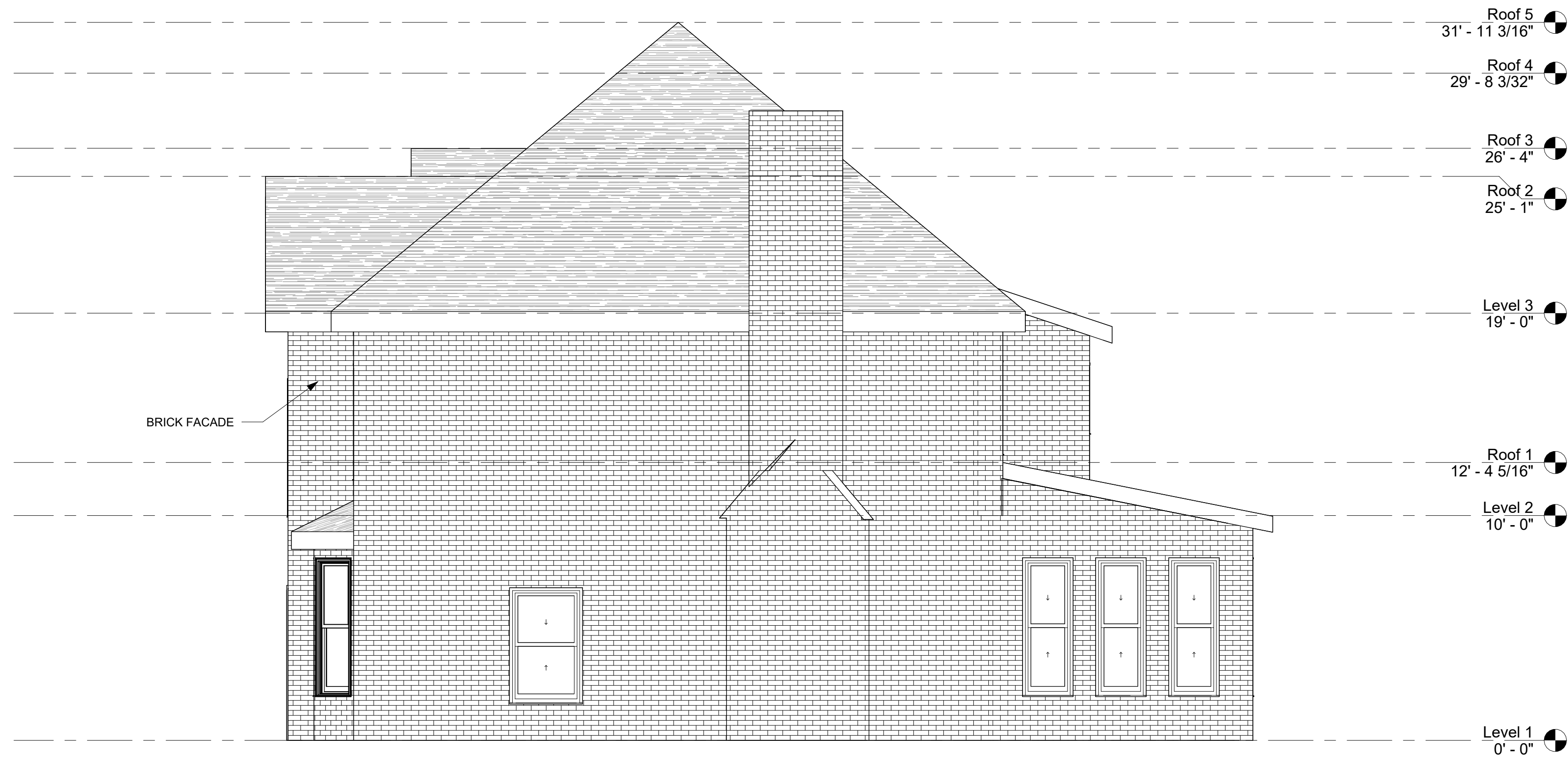
ISSUE FOR: CODE REVIEW

Date Issue Date

EXTERIOR
ELEVATIONS

A-4.1

11/29/2022 4:52:04 PM



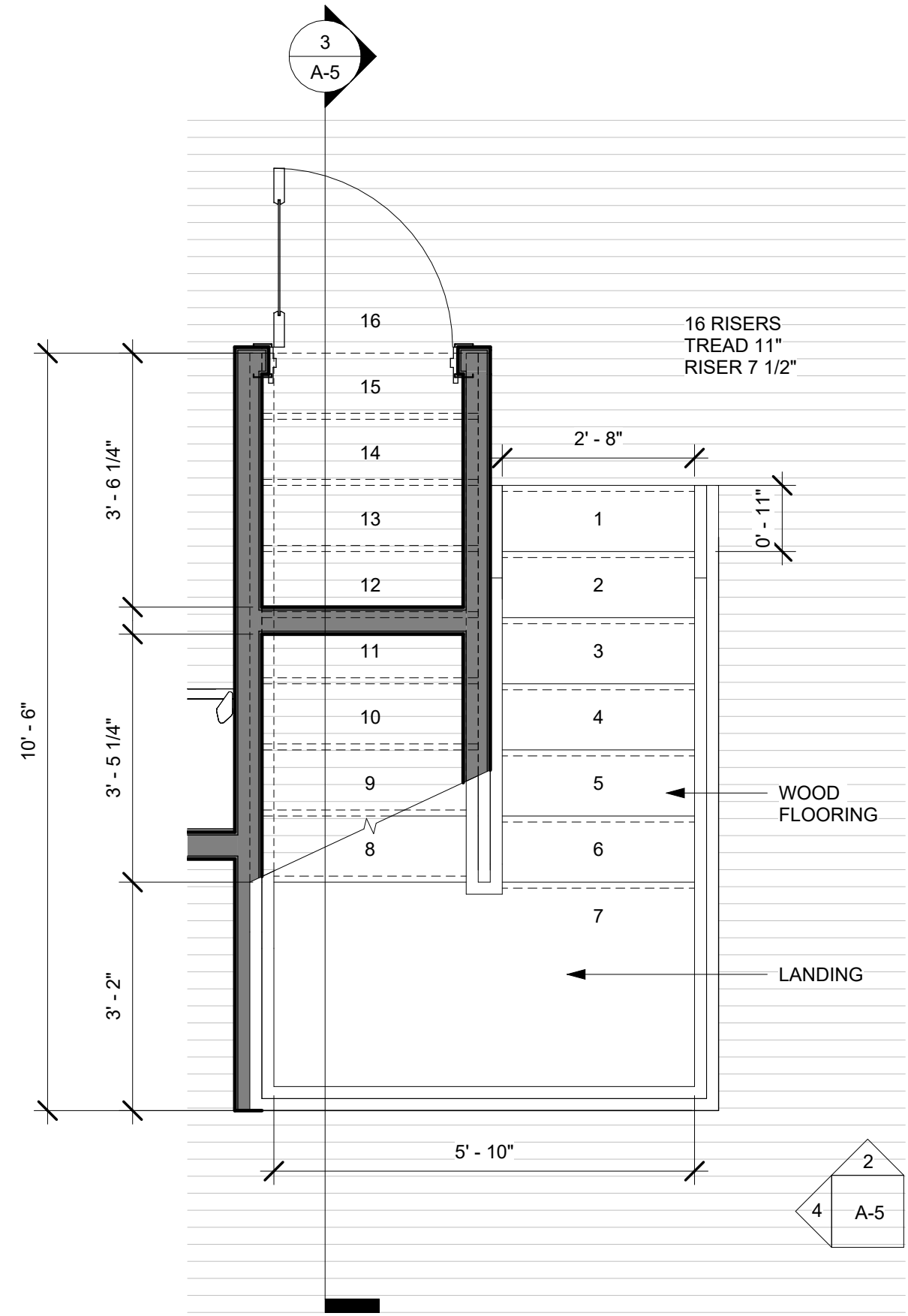
1
A-4.1
Elevation - North West
1/4" = 1'-0"



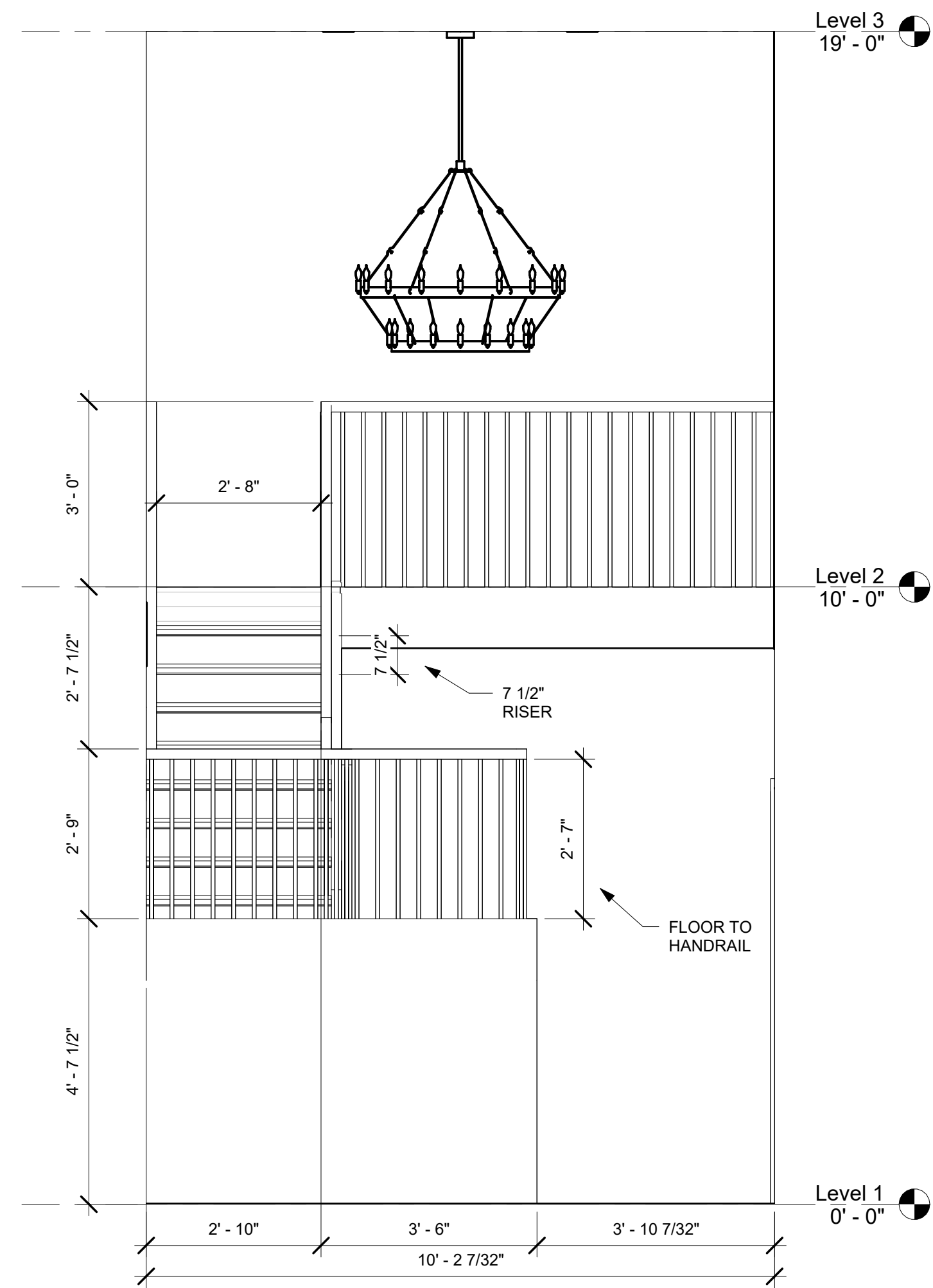
2
A-4.1
Elevation - South East
1/4" = 1'-0"

THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF ANNA LEE AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION. COPY WRITE 2022

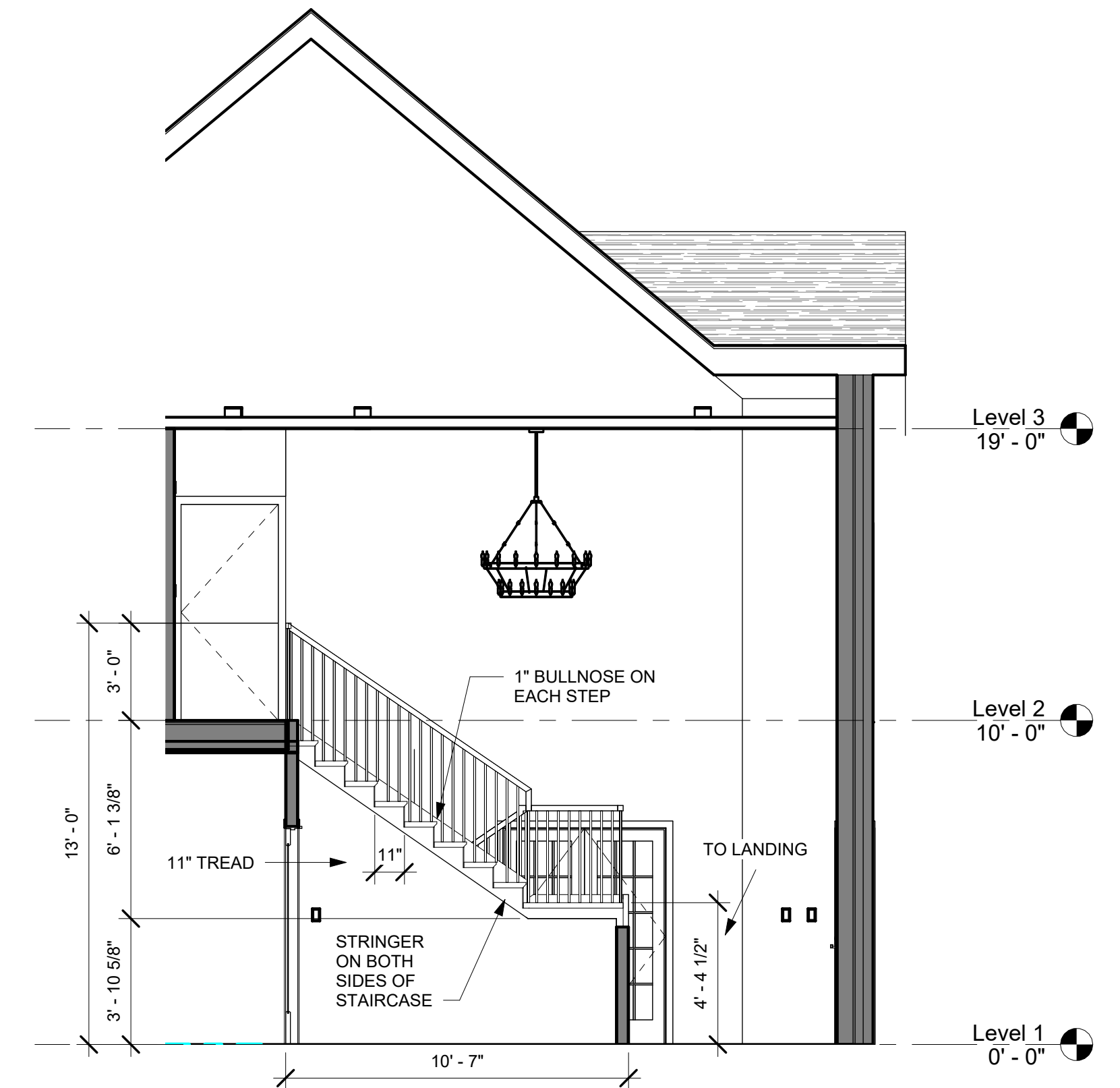
THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF ANNA LEE AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION. COPY WRITE 2022



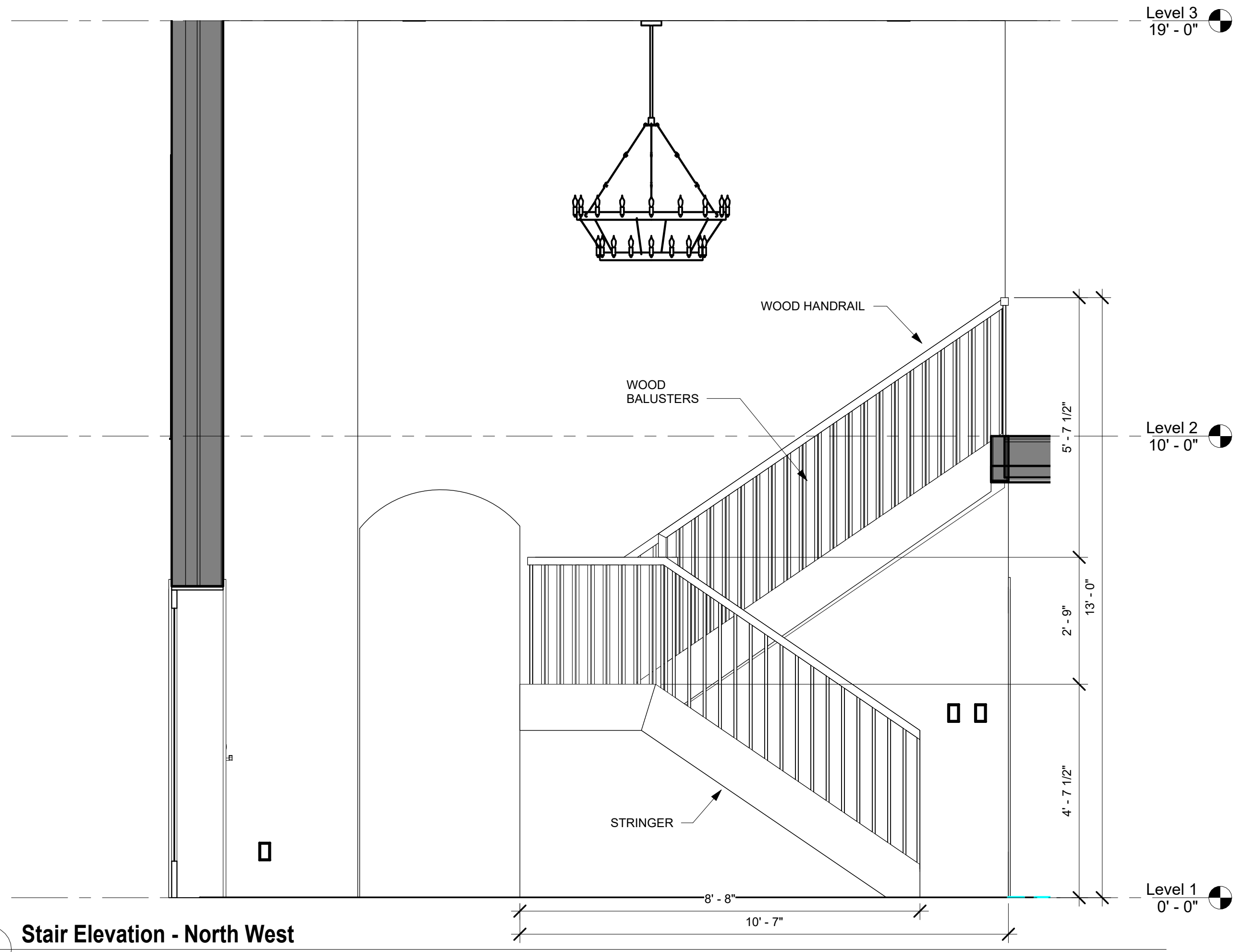
1 Enlarged Plan - Staircase
A-5 1/2" = 1'-0"



2 Stair Elevation - North East
A-5 1/2" = 1'-0"



3 Section - Staircase
A-5 1/4" = 1'-0"



4 Stair Elevation - North West
A-5 1/2" = 1'-0"

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SOUTH CAROLINA BUILDING CODE AND WITH THE REQUIREMENTS OF THE CITY OF SPARTANBURG, STATE & NATIONAL LAWS AND CODES. ANY DISCREPANCIES BETWEEN THE PLANS AND ABOVE REQUIREMENTS MUST BE CALLED TO THE ARCHITECTS ATTENTION BEFORE PROCEEDING WITH THE WORKS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE PLANS. HE MUST FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK AND REPORT TO THE ARCHITECT TO CLARIFY ANY DISCREPANCIES. CONTRACTOR MUST COORDINATE THE WORK OF ALL TRADES AND INSURE THAT ALL WORK CAN BE COMPLETE AS IT IS THE INTENT OF THE PLANS.
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING HIS CONTRACTOR'S PERMITS, INSPECTIONS AND APPROVALS FROM GOVERNING AGENCIES WITH JURISDICTION OVER THE PROJECT BEFORE BEGINNING WORK.
4. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE REQUIREMENTS OF THE UTILITY COMPANIES INCLUDING THE CITY OF SPARTANBURG PUBLIC WORKS DEPARTMENT.
5. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
6. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
7. ALL DRAWINGS AND COPIES THAT FORM PART OF THIS DOCUMENT FURNISHED BY THE ARCHITECT ARE THEIR PROPERTY. THEY ARE NOT TO BE USED ON OTHER WORK AND ARE TO BE RETURNED UPON DEMAND AT THE COMPLETION OF THE WORK. IF THESE DRAWINGS OR ANY PART THEREOF ARE USED IN ANY MANNER WITHOUT THE CONSENT OF THE ARCHITECT, THE USER THEREOF BECOMES INDEBTED TO THE ARCHITECT FOR FULL PROFESSIONAL FEES.
8. THE GENERAL CONTRACTOR MAY SUBSTITUTE EQUIPMENT AND/OR MATERIALS AS LONG AS SUCH CHANGES MEET ALL F.B. CODE REQUIREMENTS AND ARE EQUAL TO THOSE SPECIFIED ON PLANS AND OBTAINS OWNER'S APPROVAL IN WRITING AND BUILDING DEPARTMENT APPROVAL.
9. GUARANTEES: THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT AGAINST DEFECTS OF EQUIPMENT, MATERIALS, AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OR FINAL ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE REPAIR AND REPLACE ALL SUCH DEFECTIVE WORK OR MATERIALS DURING THE TERM OF THE GUARANTEE.
10. WORKMANSHIP: ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADE HIGHEST LEVEL OF WORKMANSHIP WILL BE REJECTED. ANY WORK REJECTED SHALL BE REDONE AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED, AT CONTRACTOR'S EXPENSE. CORRECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN FIVE DAYS AFTER NOTICE IS GIVEN THE CONTRACTOR.
11. SAFETY OF PERSONS AND PROPERTY: THE CONTRACTOR IS RESPONSIBLE FOR ALL REASONABLE SAFETY PRECAUTIONS TO PROTECT PEOPLE AFFECTED BY THE WORK, THE WORK ITSELF AND OTHER PROPERTY AT THE SITE OR ADJACENT TO IT.
12. IT IS A GENERAL REQUIREMENT THAT ALL MATERIAL AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE APPLICABLE STANDARD SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.
13. CLEANUP: THE CONTRACTOR AND ALL TRADES SHALL AT ALL TIMES KEEP THE PREMISES CLEAN OF DEBRIS ARISING OUT OF THE WORK AND FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR OTHER TRADES. THE CONTRACTOR SHALL PROVIDE AT ALL TIMES A TRASH CONTAINER ADEQUATE FOR THIS JOB. THE CONTRACTOR SHALL DELIVER ALL WORK UPON COMPLETION OF THE JOB IN A CLEAN, READY-TO-USE CONDITION. ALL FINISHED SURFACES SHALL HAVE PROTECTIVE COVERINGS REMOVED, AND SURFACES CLEANED OF ALL MARKS, STAINS, SOIL, PAINT, OR ADHESIONS OF THE MATERIALS AND LEFT IN PERFECT CONDITION. BESIDES THE GENERAL VACUUM CLEANING, FINISHED SURFACES SHALL BE WASHED, WAXED AND POLISHED WHERE APPLICABLE. EXTERIOR AREAS AFFECTED BY CONSTRUCTION SHALL BE RAKED CLEAN OF DEBRIS. DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED.
14. ALL DETAILS, SECTIONS, DIAGRAMS, ETC. INDICATED AS "TYPICAL" ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE PROJECT.
15. DO NOT SCALE DRAWINGS. DIMENSIONS AND/OR EXISTING CONDITIONS GOVERN. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES

CLIENT:

INTERIOR RENOVATION
MILLHAVEN -GLENN FOREST COMMUNITY

200 Dares Ferry Rd.
Spartanburg, SC 29302

ISSUE FOR: CODE REVIEW

Date Issue Date

STAIRCASE DETAIL

A-5

CLIENT:

INTERIOR RENOVATION
MILLHAVEN - GLENN FOREST COMMUNITY

200 Dares Ferry Rd.
Spartanburg, SC 29302

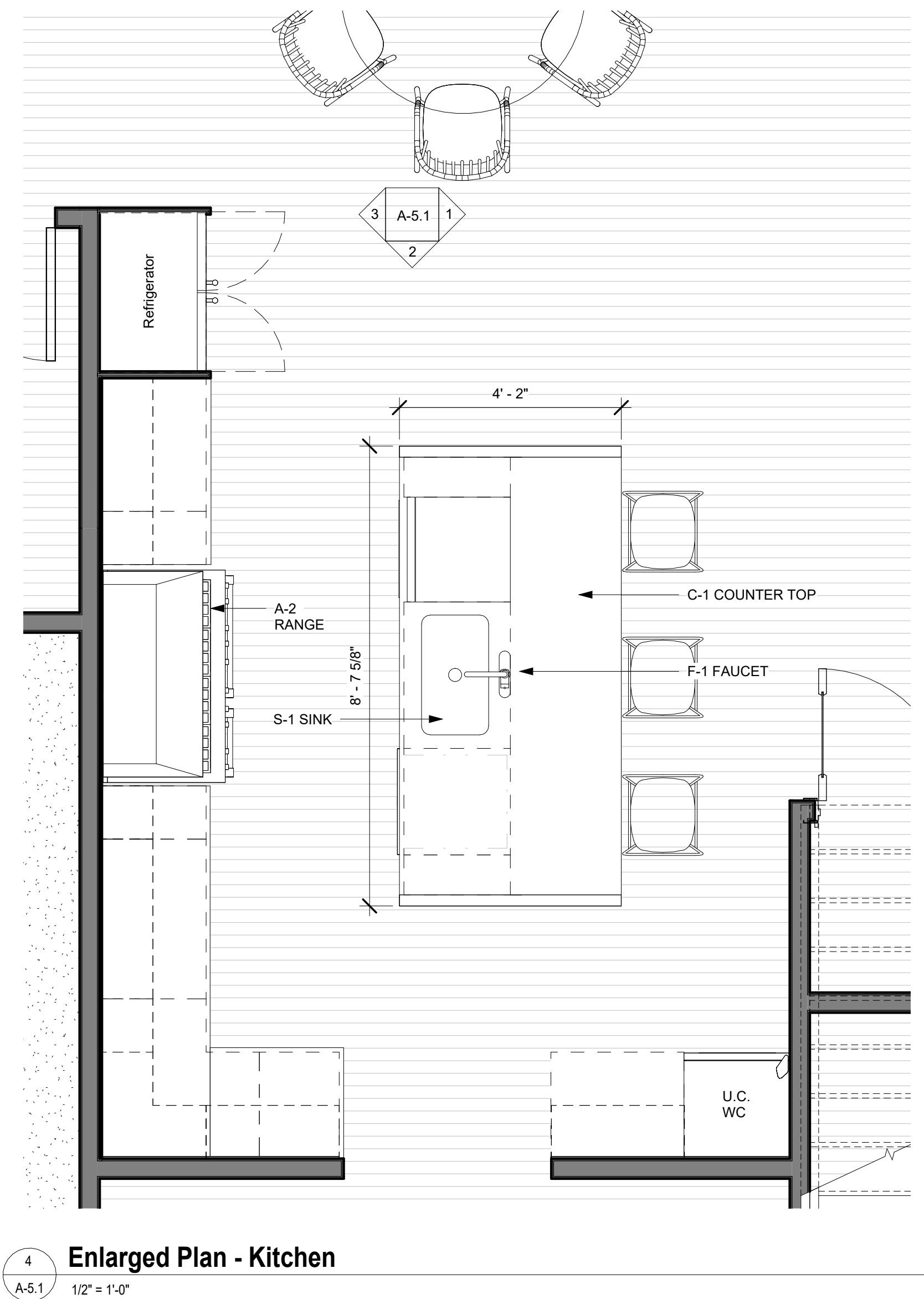
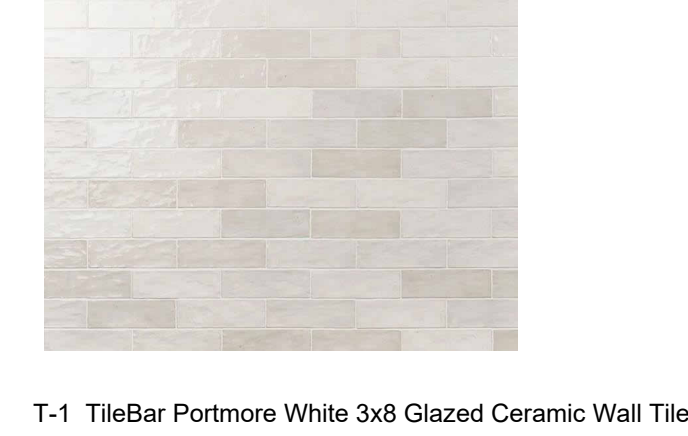
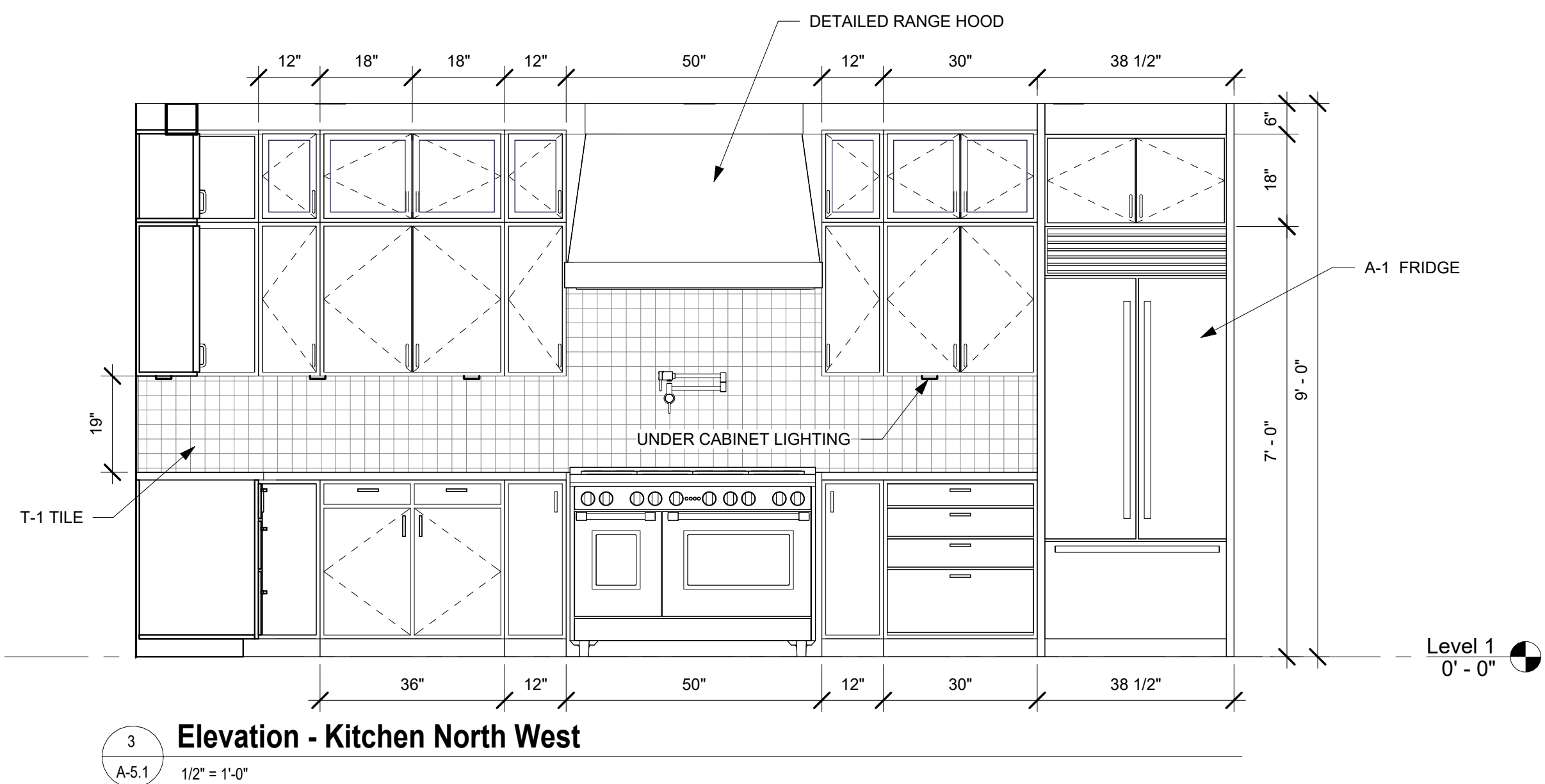
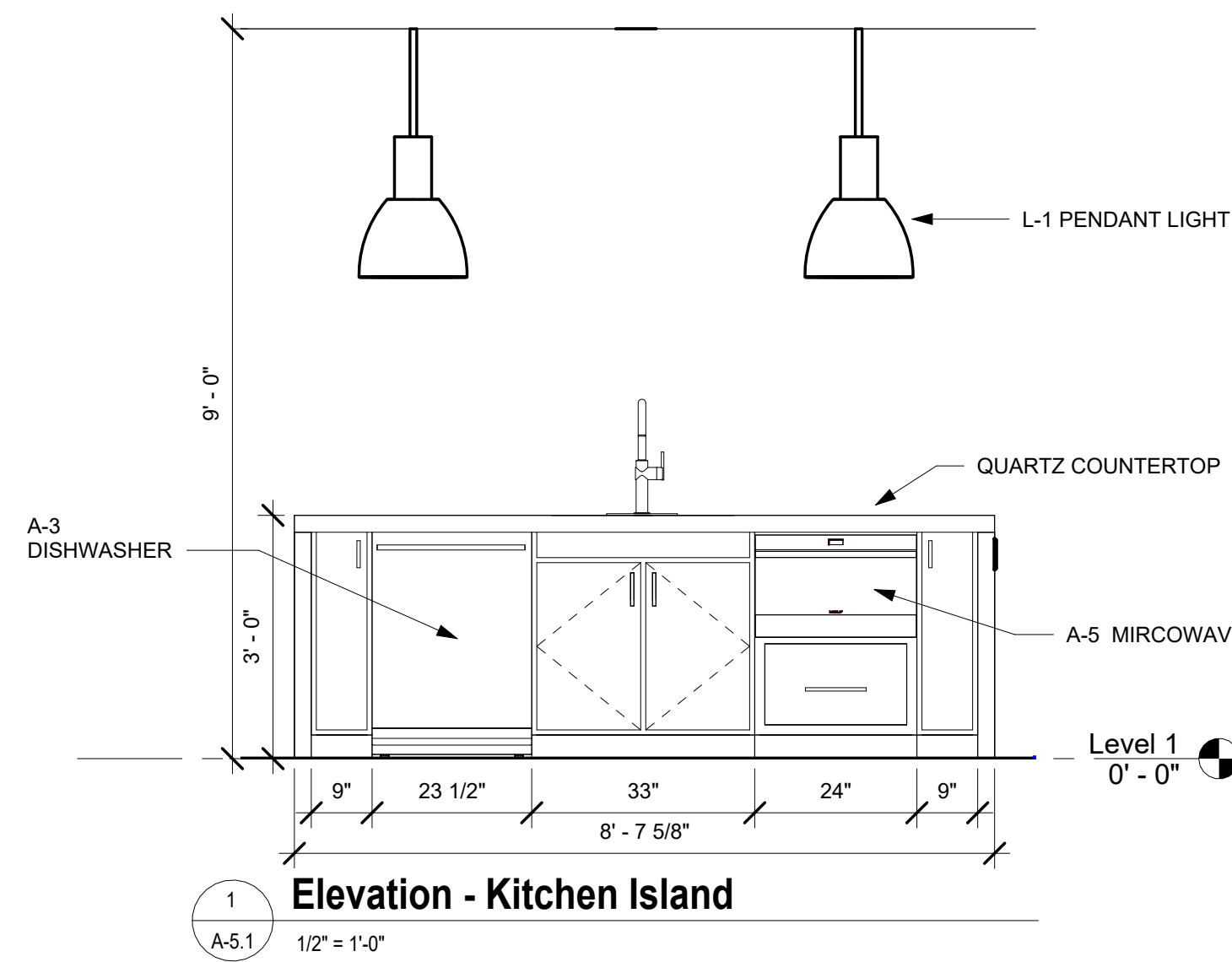
ISSUE FOR: CODE REVIEW

Date Issue Date

DETAILED
ELEVATIONS KITCHEN

A-5.1

THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF ANNA LEE AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION. COPY WRITE 2022



GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SOUTH CAROLINA BUILDING CODE AND WITH THE REQUIREMENTS OF THE CITY OF SPARTANBURG, STATE & NATIONAL LAWS AND CODES, ANY DISCREPANCIES BETWEEN THE PLANS AND ABOVE REQUIREMENTS MUST BE CALLED TO THE ARCHITECTS ATTENTION BEFORE PROCEEDING WITH THE WORKS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE PLANS. HE MUST FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK AND REPORT TO THE ARCHITECT TO CLARIFY ANY DISCREPANCIES; CONTRACTOR MUST COORDINATE THE WORK OF ALL TRADES AND INSURE THAT ALL WORK CAN BE COMPLETE AS IT IS THE INTENT OF THE PLANS.
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING HIS CONTRACTOR'S PERMITS, INSPECTIONS AND APPROVALS FROM GOVERNING AGENCIES WITH JURISDICTION OVER THE PROJECT BEFORE BEGINNING WORK.
4. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE REQUIREMENTS OF THE UTILITY COMPANIES INCLUDING THE CITY OF SPARTANBURG PUBLIC WORKS DEPARTMENT.
5. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
6. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
7. ALL DRAWINGS AND COPIES THAT FORM PART OF THIS DOCUMENT FURNISHED BY THE ARCHITECT ARE THEIR PROPERTY. THEY ARE NOT TO BE USED ON OTHER WORK AND ARE TO BE RETURNED UPON DEMAND AT THE COMPLETION OF THE WORK. IF THESE DRAWINGS OR ANY PART THEREFORE ARE USED IN ANY MANNER WITHOUT THE CONSENT OF THE ARCHITECT, THE USER THEREOF BECOMES INDEBTED TO THE ARCHITECT FOR FULL PROFESSIONAL FEES.
8. THE GENERAL CONTRACTOR MAY SUBSTITUTE EQUIPMENT AND/OR MATERIALS AS LONG AS SUCH CHANGES MEET ALL F.B. CODE REQUIREMENTS AND ARE EQUAL TO THOSE SPECIFIED ON PLANS AND OBTAINS OWNER'S APPROVAL IN WRITING AND BUILDING DEPARTMENT APPROVAL.
9. GUARANTEES: THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT AGAINST DEFECTS OF EQUIPMENT, MATERIALS, AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OR FINAL ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE REPAIR AND REPLACE ALL SUCH DEFECTIVE WORK OR MATERIALS DURING THE TERM OF THE GUARANTEE.
10. WORKMANSHIP: ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADE HIGHEST LEVEL OF WORKMANSHIP WILL BE REJECTED. ANY WORK REJECTED SHALL BE REDONE AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED, AT CONTRACTOR'S EXPENSE. CORRECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN FIVE DAYS AFTER NOTICE IS GIVEN THE CONTRACTOR.
11. SAFETY OF PERSONS AND PROPERTY: THE CONTRACTOR IS RESPONSIBLE FOR ALL REASONABLE SAFETY PRECAUTIONS TO PROTECT PEOPLE AFFECTED BY THE WORK, THE WORK ITSELF AND OTHER PROPERTY AT THE SITE OR ADJACENT TO IT.
12. IT IS A GENERAL REQUIREMENT THAT ALL MATERIAL AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE APPLICABLE STANDARD SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.
13. CLEANUP: THE CONTRACTOR AND ALL TRADES SHALL AT ALL TIMES KEEP THE PREMISES CLEAN OF DEBRIS ARISING OUT OF THE WORK AND FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR OTHER TRADES. THE CONTRACTOR SHALL PROVIDE AT ALL TIMES A TRASH CONTAINER ADEQUATE FOR THIS JOB. THE CONTRACTOR SHALL DELIVER ALL WORK UPON COMPLETION OF THE JOB IN A CLEAN, READY-TO-USE CONDITION. ALL FINISHED SURFACES SHALL HAVE PROTECTIVE COVERINGS REMOVED, AND SURFACES CLEANED OF ALL MARKS, STAINS, SOIL, PAINT, OR ADHESIONS OF THE MATERIALS AND LEFT IN PERFECT CONDITION. BESIDES THE GENERAL VACUUM CLEANING, FINISHED SURFACES SHALL BE WASHED, WAXED AND POLISHED WHERE APPLICABLE. EXTERIOR AREAS AFFECTED BY CONSTRUCTION SHALL BE RAKED CLEAN OF DEBRIS. DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED.
14. ALL DETAILS, SECTIONS, DIAGRAMS, ETC. INDICATED AS "TYPICAL" ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE PROJECT.
15. DO NOT SCALE DRAWINGS. DIMENSIONS AND/OR EXISTING CONDITIONS GOVERN. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES

CLIENT:

INTERIOR RENOVATION
MILLHAVEN - GLENN FOREST COMMUNITY
200 Dares Ferry Rd.
Spartanburg, SC 29302

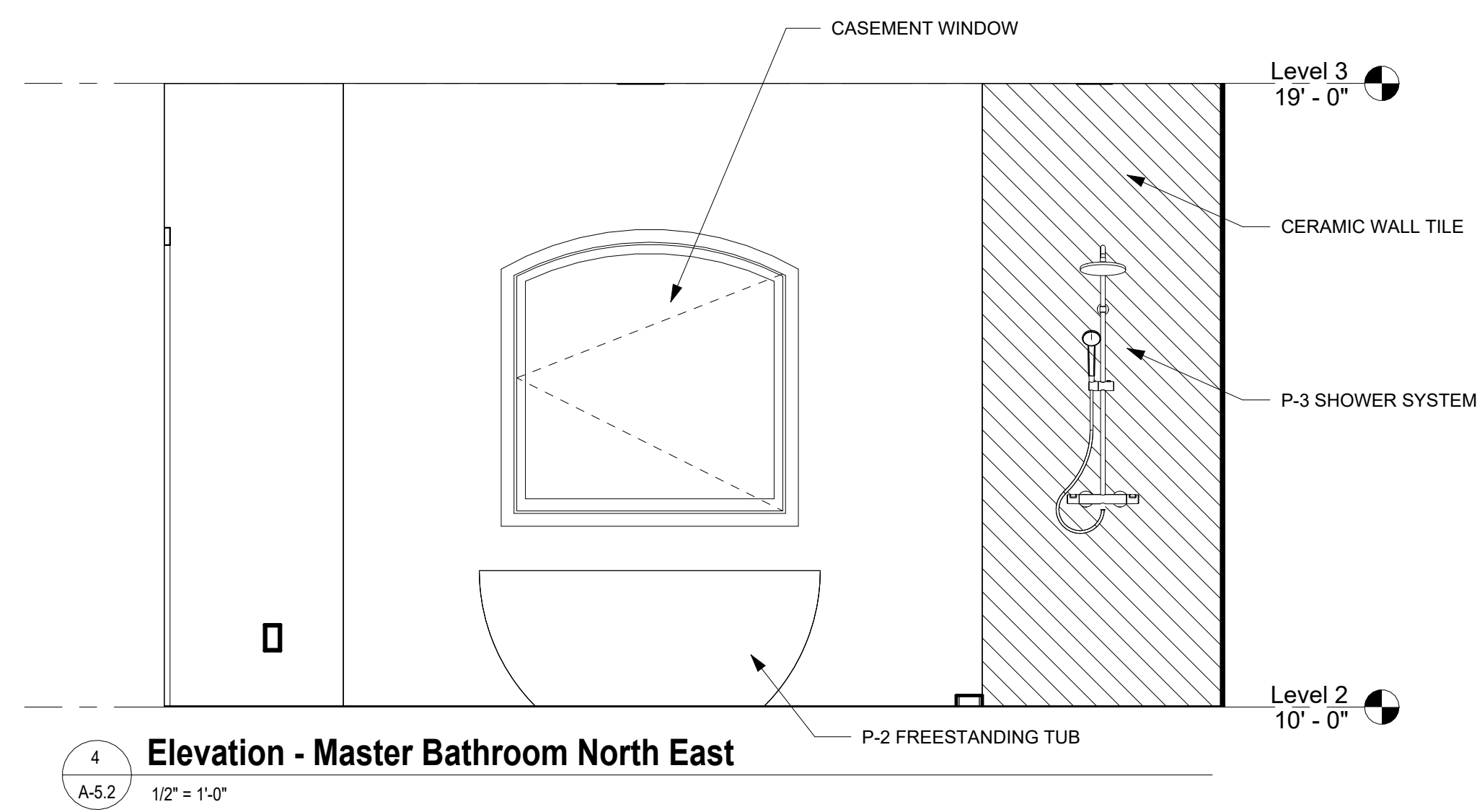
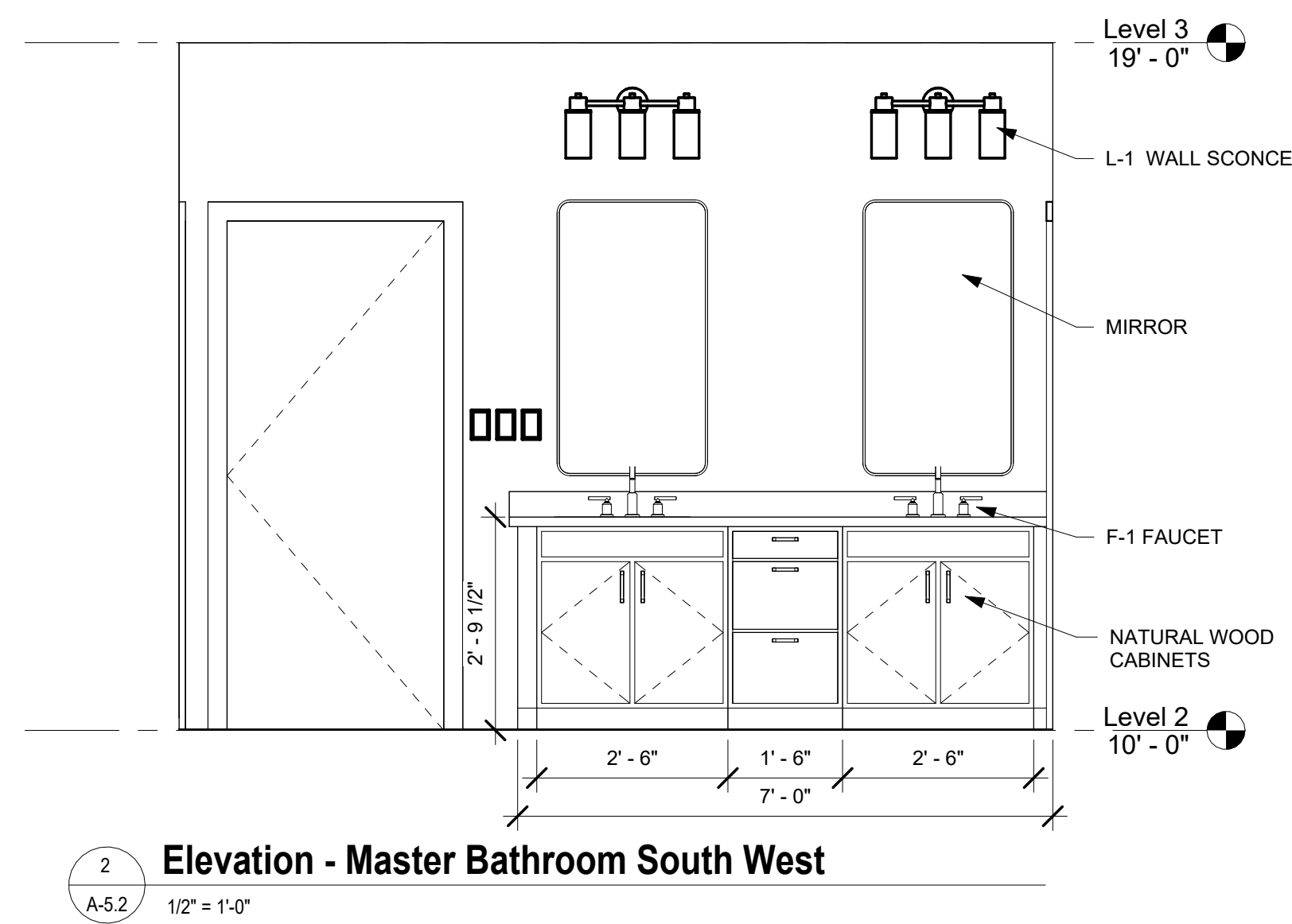
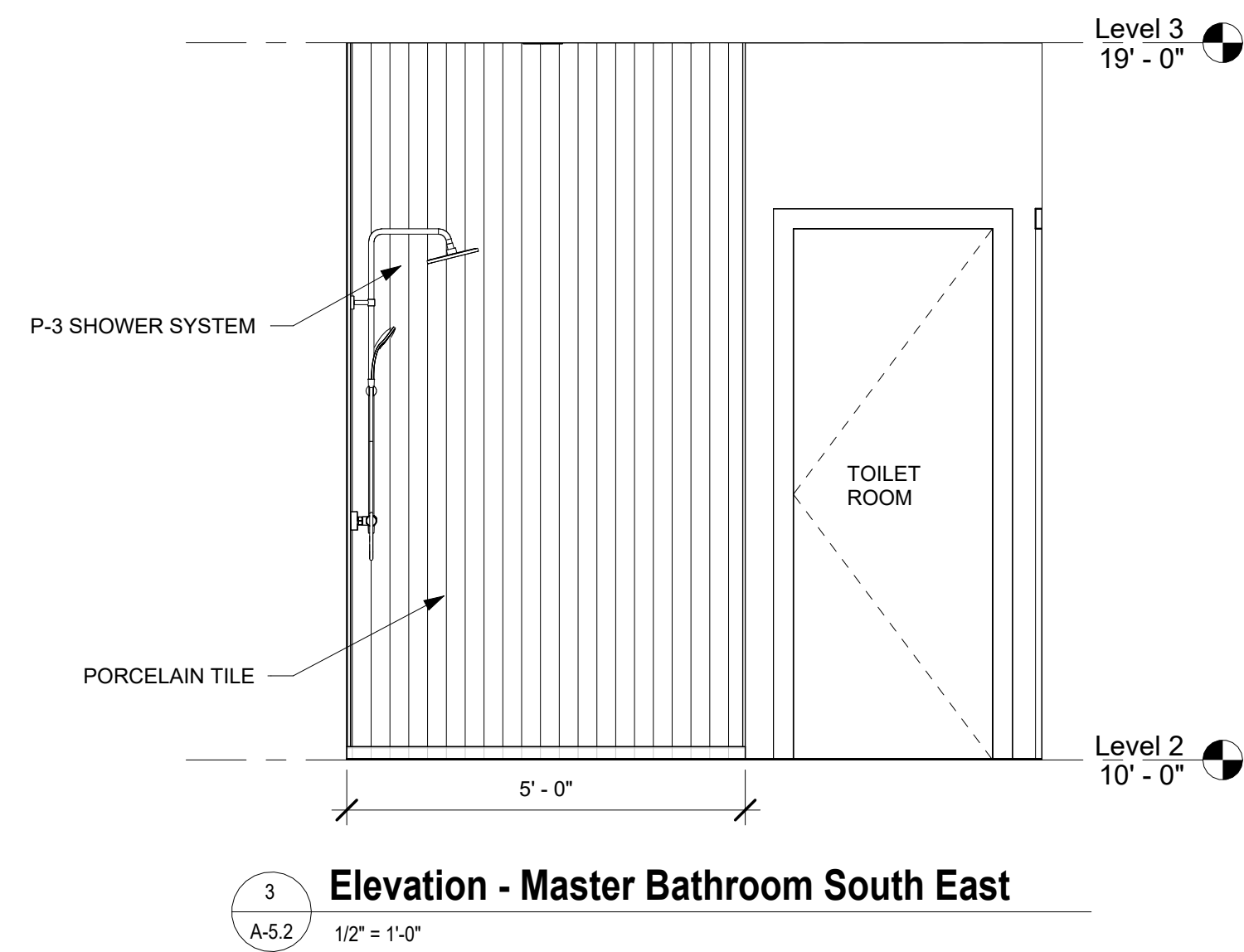
ISSUE FOR: CODE REVIEW

Date Issue Date

DETAILED
ELEVATIONS MASTER
BATHROOM

A-5.2

11/29/2022 4:57:09 PM



P-2 Jacuzzi Karina 65" Free Standing Resin, Stone Composite Soaking Tub



P-1 Kohler Toilet



P-3 Delta Pivotal Thermostatic Shower System



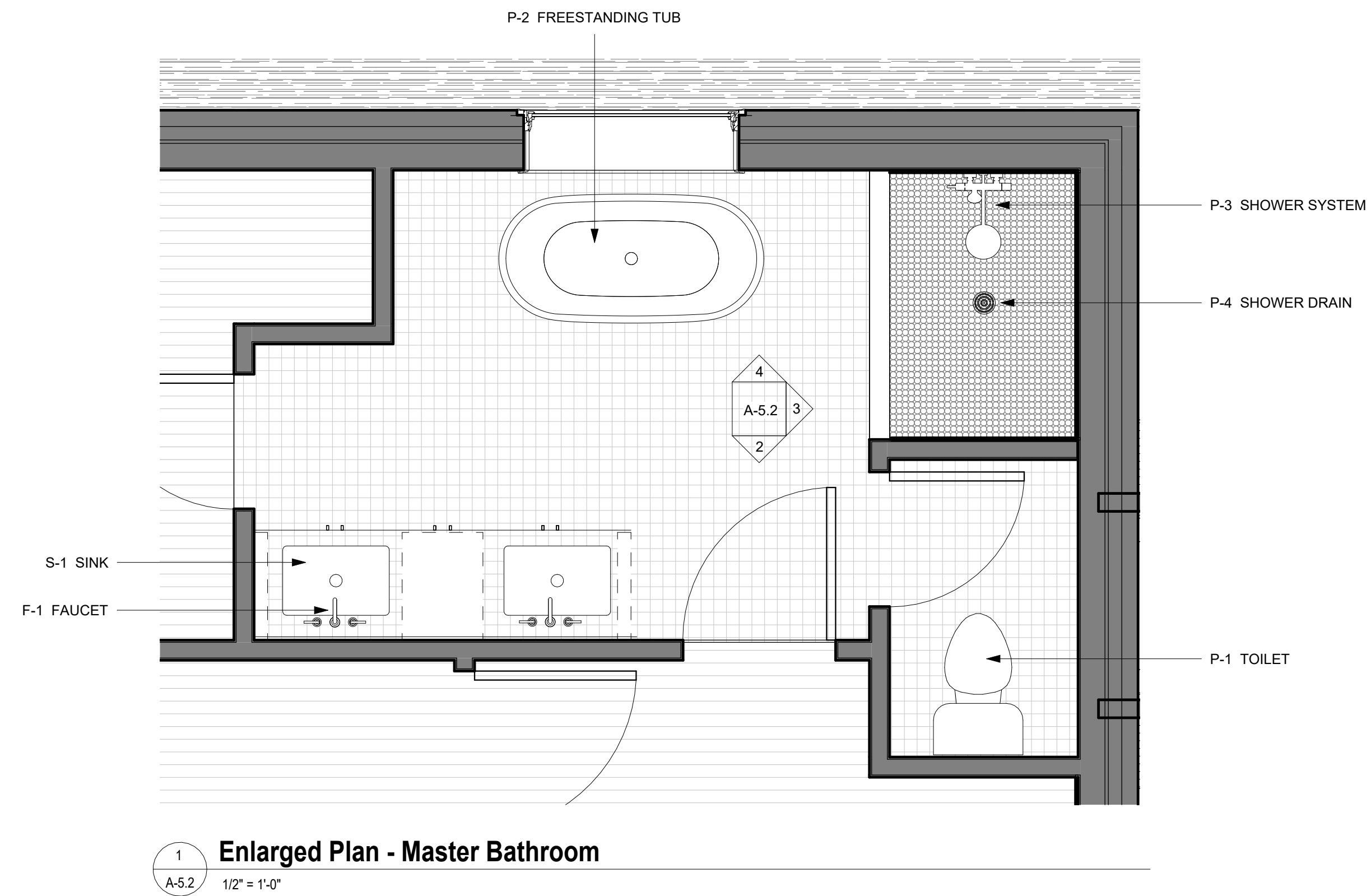
S-1 Kohler Kathryn 23-7/8" Rectangular Vitreous China Undermount Bathroom Sink



F-1 Moen Gibson Widespread Bathroom Sink Faucet



P-4 Kohler Round Shower Drain



GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SOUTH CAROLINA BUILDING CODE AND WITH THE REQUIREMENTS OF THE CITY OF SPARTANBURG, STATE & NATIONAL LAWS AND CODES, ANY DISCREPANCIES BETWEEN THE PLANS AND ABOVE REQUIREMENTS MUST BE CALLED TO THE ARCHITECTS ATTENTION BEFORE PROCEEDING WITH THE WORKS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE PLANS. HE MUST FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK AND REPORT TO THE ARCHITECT TO CLARIFY ANY DISCREPANCIES: CONTRACTOR MUST COORDINATE THE WORK OF ALL TRADES AND INSURE THAT ALL WORK CAN BE COMPLETE AS IT IS THE INTENT OF THE PLANS.
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING HIS CONTRACTOR'S PERMITS, INSPECTIONS AND APPROVALS FROM GOVERNING AGENCIES WITH JURISDICTION OVER THE PROJECT BEFORE BEGINNING WORK.
4. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE REQUIREMENTS OF THE UTILITY COMPANIES INCLUDING THE CITY OF SPARTANBURG PUBLIC WORKS DEPARTMENT.
5. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
6. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
7. ALL DRAWINGS AND COPIES THAT FORM PART OF THIS DOCUMENT FURNISHED BY THE ARCHITECT ARE THEIR PROPERTY. THEY ARE NOT TO BE USED ON OTHER WORK AND ARE TO BE RETURNED UPON DEMAND AT THE COMPLETION OF THE WORK. IF THESE DRAWINGS OR ANY PART THEREFORE ARE USED IN ANY MANNER WITHOUT THE CONSENT OF THE ARCHITECT, THE USER THEREOF BECOMES INDEBTED TO THE ARCHITECT FOR FULL PROFESSIONAL FEES.
8. THE GENERAL CONTRACTOR MAY SUBSTITUTE EQUIPMENT AND/OR MATERIALS AS LONG AS SUCH CHANGES MEET ALL F.B. CODE REQUIREMENTS AND ARE EQUAL TO THOSE SPECIFIED ON PLANS AND OBTAINS OWNER'S APPROVAL IN WRITING AND BUILDING DEPARTMENT APPROVAL.
9. GUARANTEES: THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT AGAINST DEFECTS OF EQUIPMENT, MATERIALS, AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE REPAIR AND REPLACE ALL SUCH DEFECTIVE WORK OR MATERIALS DURING THE TERM OF THE GUARANTEE.
10. WORKMANSHIP: ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADE HIGHEST LEVEL OF WORKMANSHIP WILL BE REJECTED. ANY WORK REJECTED SHALL BE REDONE AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED, AT CONTRACTOR'S EXPENSE. CORRECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN FIVE DAYS AFTER NOTICE IS GIVEN THE CONTRACTOR.
11. SAFETY OF PERSONS AND PROPERTY: THE CONTRACTOR IS RESPONSIBLE FOR ALL REASONABLE SAFETY PRECAUTIONS TO PROTECT PEOPLE AFFECTED BY THE WORK, THE WORK ITSELF AND OTHER PROPERTY AT THE SITE OR ADJACENT TO IT.
12. IT IS A GENERAL REQUIREMENT THAT ALL MATERIAL AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE APPLICABLE STANDARD SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.
13. CLEANUP: THE CONTRACTOR AND ALL TRADES SHALL AT ALL TIMES KEEP THE PREMISES CLEAN OF DEBRIS ARISING OUT OF THE WORK AND FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR OTHER TRADES. THE CONTRACTOR SHALL PROVIDE AT ALL TIMES A TRASH CONTAINER ADEQUATE FOR THIS JOB. THE CONTRACTOR SHALL DELIVER ALL WORK UPON COMPLETION OF THE JOB IN A CLEAN, READY-TO-USE CONDITION. ALL FINISHED SURFACES SHALL HAVE PROTECTIVE COVERINGS REMOVED, AND SURFACES CLEANED OF ALL MARKS, STAINS, SOIL, PAINT, OR ADHESIONS OF THE MATERIALS AND LEFT IN PERFECT CONDITION. BESIDES THE GENERAL VACUUM CLEANING, FINISHED SURFACES SHALL BE WASHED, WAXED AND POLISHED WHERE APPLICABLE. EXTERIOR AREAS AFFECTED BY CONSTRUCTION SHALL BE RAKED CLEAN OF DEBRIS. DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED.
14. ALL DETAILS, SECTIONS, DIAGRAMS, ETC. INDICATED AS "TYPICAL" ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE PROJECT.
15. DO NOT SCALE DRAWINGS. DIMENSIONS AND/OR EXISTING CONDITIONS GOVERN. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES

CLIENT:

INTERIOR RENOVATION
MILLHAVEN -GLENN FOREST COMMUNITY

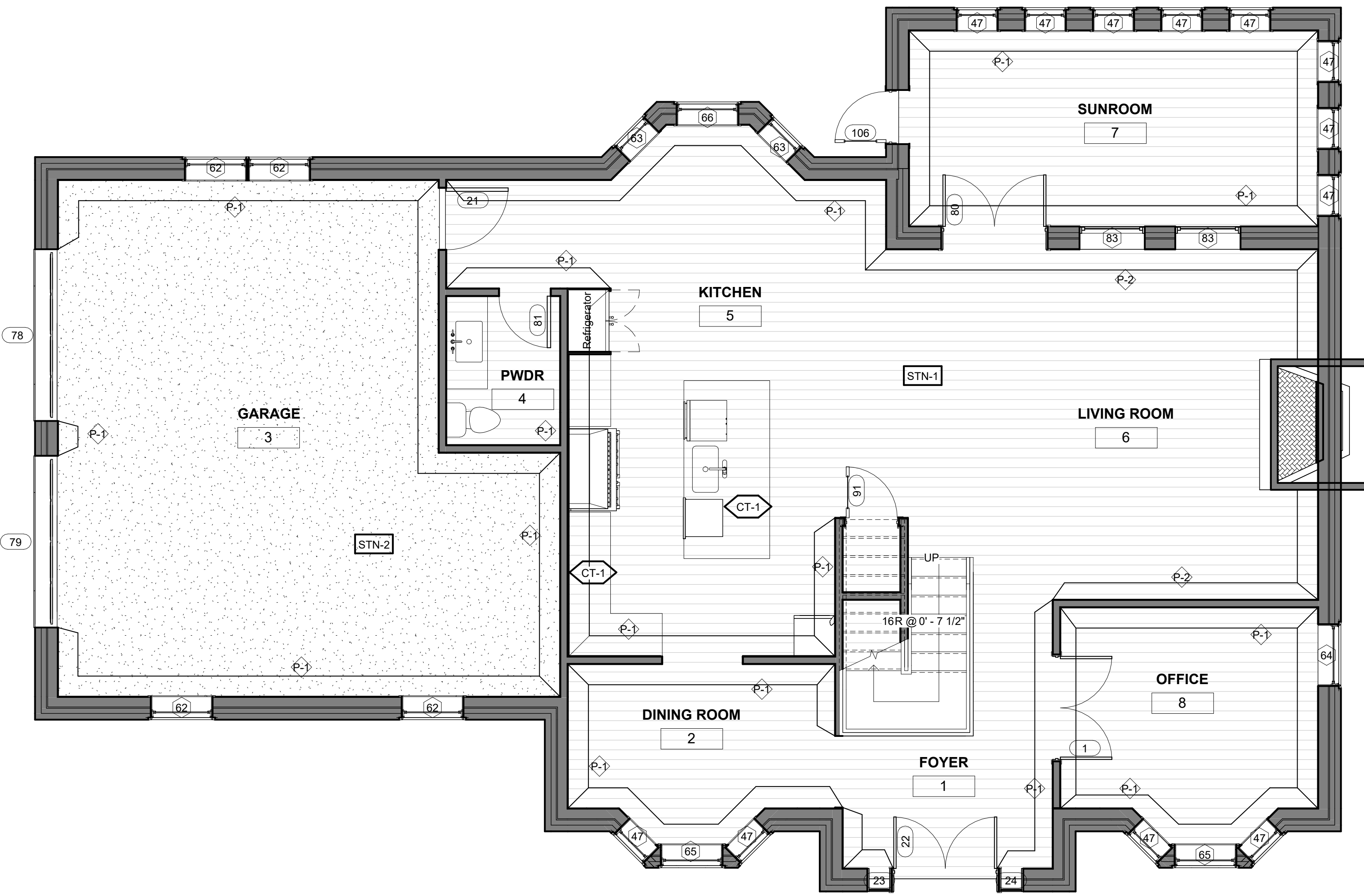
200 Dares Ferry Rd.
Spartanburg, SC 29302

ISSUE FOR: CODE REVIEW

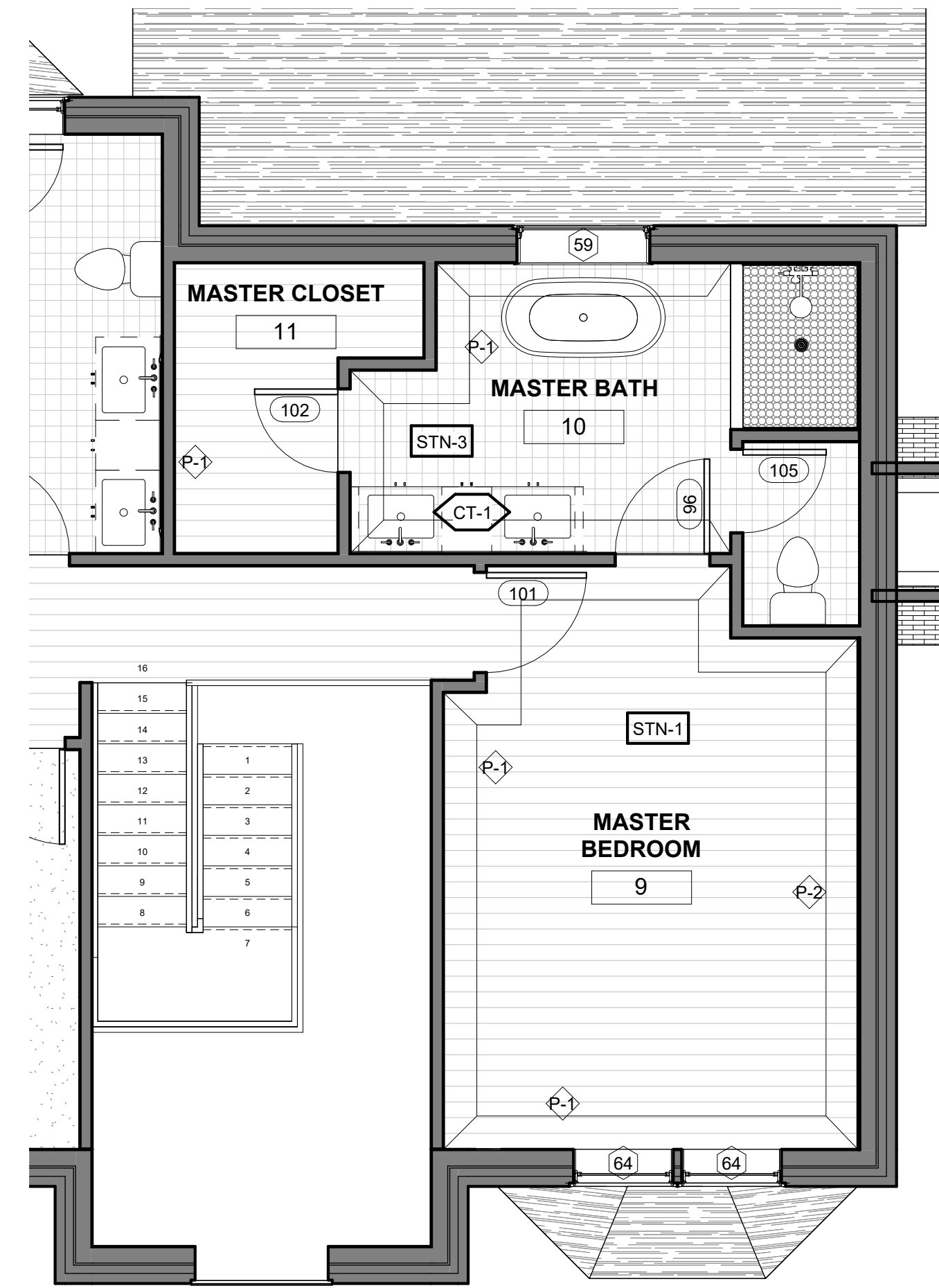
Date Issue Date

FINISHED PLAN

A-6



1
A-6
Finish Plan - Level 1
1/4" = 1'-0"



2
A-6
Finish Plan - Master Bedroom & Bath
1/4" = 1'-0"

Legend:

- COUNTER TOP TAG
- FLOOR TAG
- WALL TAG
- WINDOW TAG
- DOOR TAG

Number	Name	Floor Finish	Walls				Ceiling Finish
			North	South	East	West	
3	GARAGE	STN-2 Concrete	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
4	PWDR	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
5	KITCHEN	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
2	DINING ROOM	STN-1 Hardwood	P-1 SW 7636 Origami White	P-2 SW 6178 Clary Sage	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
1	FOYER	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
8	OFFICE	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
6	LIVING ROOM	STN-1 Hardwood	P-2 SW 6178 Clary Sage	P-2 SW 6178 Clary Sage	P-2 SW 6178 Clary Sage	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
7	SUNROOM	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
9	MASTER BEDROOM	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-2 SW 6178 Clary Sage	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
10	MASTER BATH	STN-3 Tile	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
11	MASTER CLOSET	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White

GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SOUTH CAROLINA BUILDING CODE AND WITH THE REQUIREMENTS OF THE CITY OF SPARTANBURG, STATE & NATIONAL LAWS AND CODES, ANY DISCREPANCIES BETWEEN THE PLANS AND ABOVE REQUIREMENTS MUST BE CALLED TO THE ARCHITECTS ATTENTION BEFORE PROCEEDING WITH THE WORKS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE PLANS. HE MUST FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK AND REPORT TO THE ARCHITECT TO CLARIFY ANY DISCREPANCIES: CONTRACTOR MUST COORDINATE THE WORK OF ALL TRADES AND INSURE THAT ALL WORK CAN BE COMPLETE AS IT IS THE INTENT OF THE PLANS.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING HIS CONTRACTOR'S PERMITS, INSPECTIONS AND APPROVALS FROM GOVERNING AGENCIES WITH JURISDICTION OVER THE PROJECT BEFORE BEGINNING WORK.
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE REQUIREMENTS OF THE UTILITY COMPANIES INCLUDING THE CITY OF SPARTANBURG PUBLIC WORKS DEPARTMENT.
- ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- THE ARCHITECT WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
- ALL DRAWINGS AND COPIES THAT FORM PART OF THIS DOCUMENT FURNISHED BY THE ARCHITECT ARE THEIR PROPERTY. THEY ARE NOT TO BE USED ON OTHER WORK AND ARE TO BE RETURNED UPON DEMAND AT THE COMPLETION OF THE WORK. IF THESE DRAWINGS OR ANY PART THEREFORE ARE USED IN ANY MANNER WITHOUT THE CONSENT OF THE ARCHITECT, THE USER THEREOF BECOMES INDEBTED TO THE ARCHITECT FOR FULL PROFESSIONAL FEES.
- THE GENERAL CONTRACTOR MAY SUBSTITUTE EQUIPMENT AND/OR MATERIALS AS LONG AS SUCH CHANGES MEET ALL F.B. CODE REQUIREMENTS AND ARE EQUAL TO THOSE SPECIFIED ON PLANS AND OBTAINS OWNER'S APPROVAL IN WRITING AND BUILDING DEPARTMENT APPROVAL.
- GUARANTEES: THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT AGAINST DEFECTS OF EQUIPMENT, MATERIALS, AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE REPAIR AND REPLACE ALL SUCH DEFECTIVE WORK OR MATERIALS DURING THE TERM OF THE GUARANTEE.
- WORKMANSHIP: ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADE HIGHEST LEVEL OF WORKMANSHIP WILL BE REJECTED. ANY WORK REJECTED SHALL BE REDONE AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED, AT CONTRACTOR'S EXPENSE. CORRECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN FIVE DAYS AFTER NOTICE IS GIVEN THE CONTRACTOR.
- SAFETY OF PERSONS AND PROPERTY: THE CONTRACTOR IS RESPONSIBLE FOR ALL REASONABLE SAFETY PRECAUTIONS TO PROTECT PEOPLE AFFECTED BY THE WORK, THE WORK ITSELF AND OTHER PROPERTY AT THE SITE OR ADJACENT TO IT.
- IT IS A GENERAL REQUIREMENT THAT ALL MATERIAL AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE APPLICABLE STANDARD SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.
- CLEANUP: THE CONTRACTOR AND ALL TRADES SHALL AT ALL TIMES KEEP THE PREMISES CLEAN OF DEBRIS ARISING OUT OF THE WORK AND FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR OTHER TRADES. THE CONTRACTOR SHALL PROVIDE AT ALL TIMES A TRASH CONTAINER ADEQUATE FOR THIS JOB. THE CONTRACTOR SHALL DELIVER ALL WORK UPON COMPLETION OF THE JOB IN A CLEAN, READY-TO-USE CONDITION. ALL FINISHED SURFACES SHALL HAVE PROTECTIVE COVERINGS REMOVED, AND SURFACES CLEANED OF ALL MARKS, STAINS, SOIL, PAINT, OR ADHESIONS OF THE MATERIALS AND LEFT IN PERFECT CONDITION. BESIDES THE GENERAL VACUUM CLEANING, FINISHED SURFACES SHALL BE WASHED, WAXED AND POLISHED WHERE APPLICABLE. EXTERIOR AREAS AFFECTED BY CONSTRUCTION SHALL BE RAKED CLEAN OF DEBRIS. DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED.
- ALL DETAILS, SECTIONS, DIAGRAMS, ETC. INDICATED AS "TYPICAL" ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE PROJECT.
- DO NOT SCALE DRAWINGS. DIMENSIONS AND/OR EXISTING CONDITIONS GOVERN. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES

CLIENT:

INTERIOR RENOVATION
MILLHAVEN -GLENN FOREST COMMUNITY

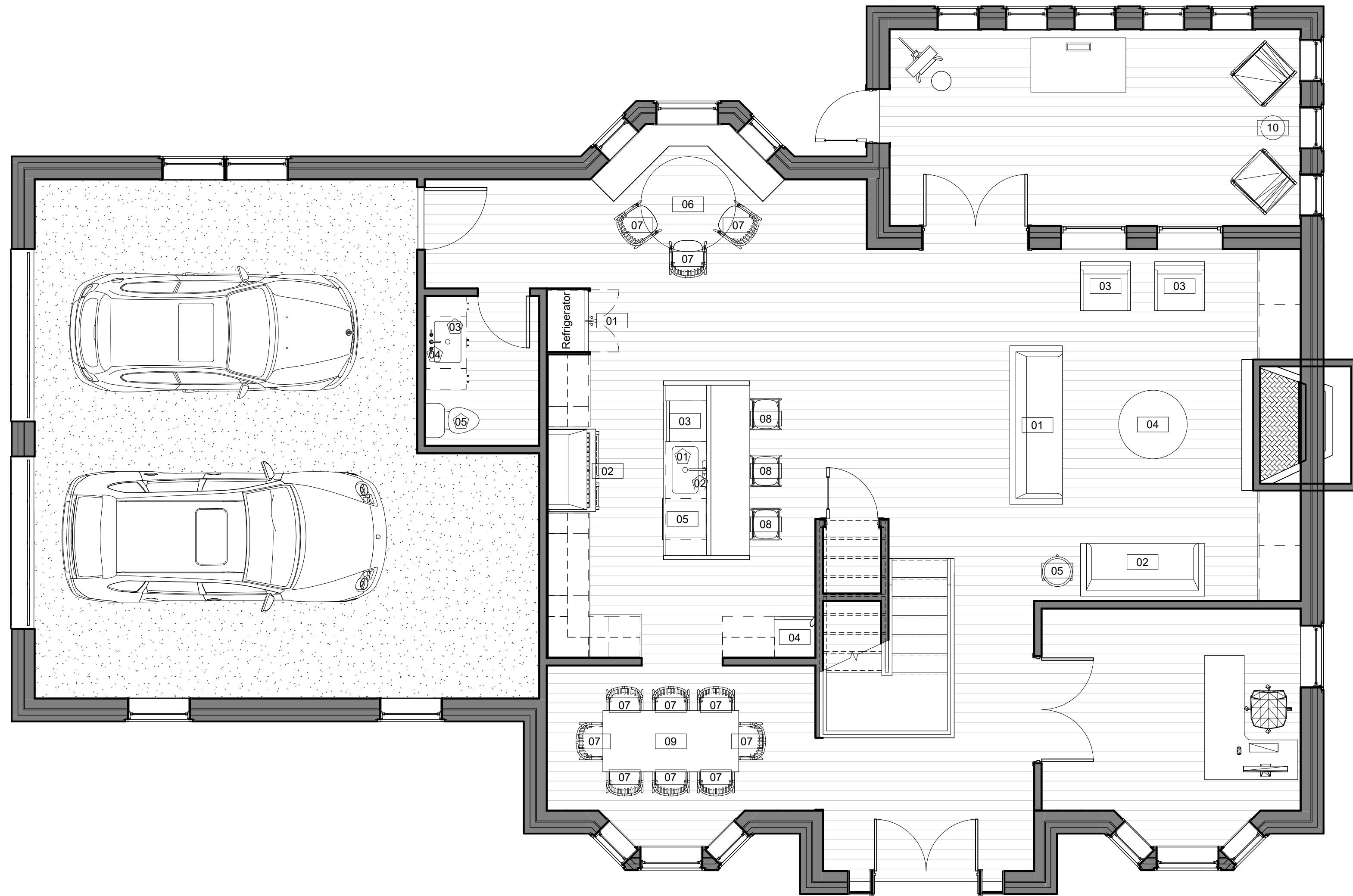
200 Dares Ferry Rd.
Spartanburg, SC 29302

ISSUE FOR: CODE REVIEW

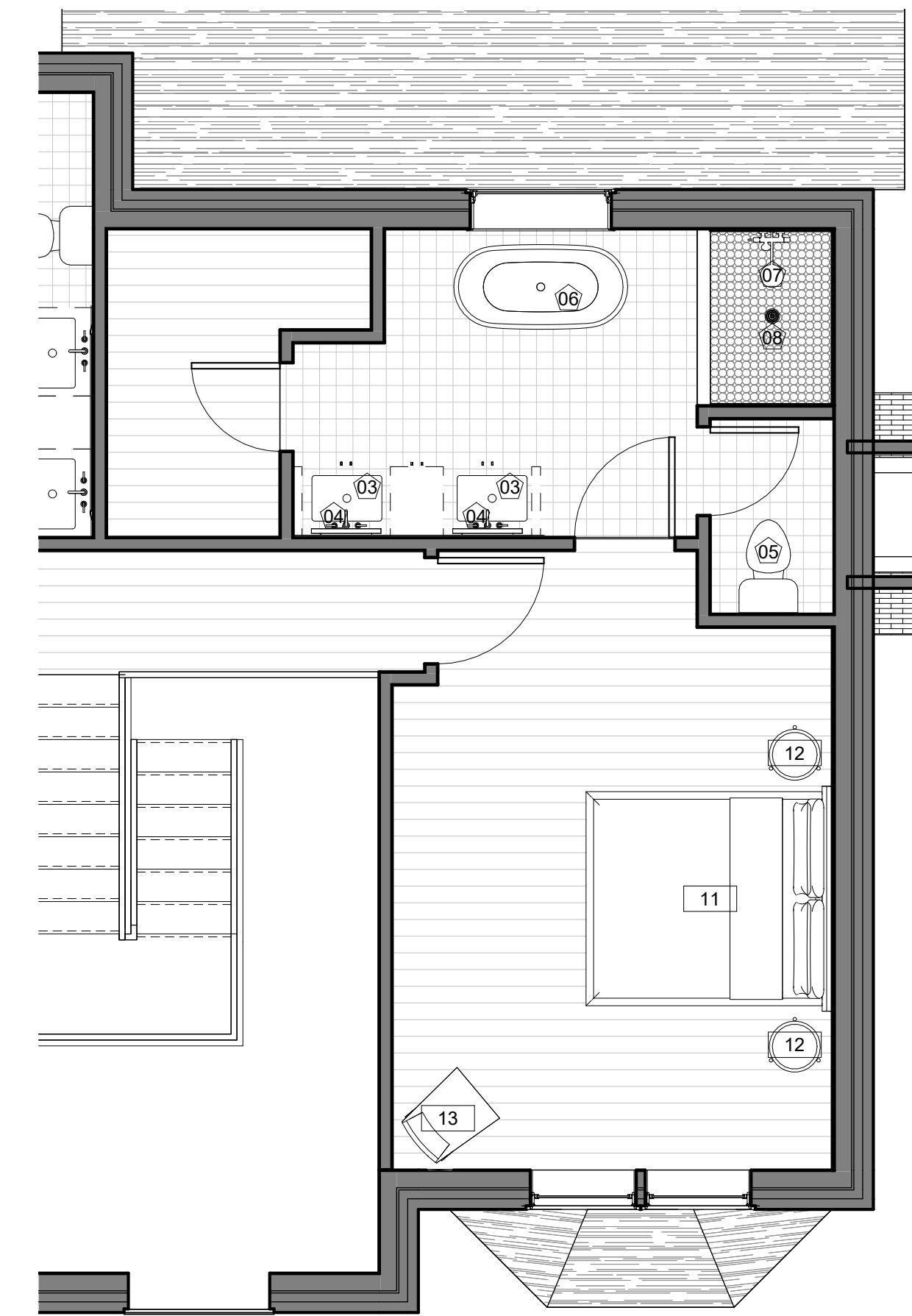
Date Issue Date

FURNITURE &
EQUIPMENT PLAN

A-7



1 Floor Plan - Level 1 Furniture Plan
A-7 1/4" = 1'-0"



2 Enlarged Plan - Level 2 Furniture Plan
A-7 1/4" = 1'-0"

FURNITURE SCHEDULE

TYPE MARK	Description	Manufacturer	Model #	WIDTH	DEPTH	Height
01	Sofa	Bernhardt Design	BHT11315	100"	39"	33"
02	Loveseat	Bernhardt Design	P000515048	62"	37"	33"
03	Armchair	Wayfair	HPL5298	28.25"	32.75"	30"
04	Coffee Table	Lifestyle Furniture		31.5"	31.5"	16"
05	Side Table	Bolia	3060609	17.3"		25"
06	Circular Dining Table	Article	SKU379	47"		29"
07	Dinning Chair	West Elm	5545709	20"	21"	31"
08	Barstool	Luxury Furnitures	P001477989	16"	12"	31"
09	Rectangular Dining Table	West Elm	1516873	86"	38"	30"
10	Side Table	West Elm	2403692	18.1"		21.2"
11	Bed	Caracole Classic	DRRU1693	85"	80.5"	60"
12	Nightstand	All Modern	A001306629	17.75"	14"	23"
13	Lounge Chair	Overstock	38940903	37"	27"	29"

APPLIANCE SCHEDULE

Type Mark	Manufacturer	Description	Model	Dimensions
01	SUBZERO	French Door Refrigerator	BI-42UFDID/S	42" W x 84" H x 24" D
02	Wolf	Range	GR484DG	47 7/8" W x 37" H x 28 3/8" D
03	Cove	Dishwasher	DW2450WS	23 5/8" W x 34 1/2" H x 23 1/4" D
04	SUBZERO	Wine Cooler	DEU2450BG L	24" W x 34 1/2" H x 23 1/8" D
05	Wolf	Drawer Oven Microwave	MD24TE/S	24" W x 17 7/8" H x 20" D

PLUMBING FIXTURE SCHEDULE

Type Mark	Description	Manufacturer	Model	Finish	Dimensions
01	Kitchen Undermount Sink	Kohler	K-3821-1-NA	Stainless Steel	Height: 9-5/16" Overall Width: 22" Overall Length: 33"
02	Kitchen Faucet	Kohler	9159T-BL-DST	Matte Black	Overall Height: 15-2/3" Spout Height: 8-4/9"
03	Bathroom Undermount Sink	Kohler	K-229T-0	Vitreous china	Overall Length: 23-7/8" Overall Width: 15-5/8" Overall Height: 6-3/4"
04	Bathroom Faucet	Moen	T6142BL	Matte Black	Overall Height: 8-15/16" Spout Height: 6"
05	Toilet	Kohler	K-5172-0	Vitreous china	Overall Height: 25-5/16" Overall Depth: 27-3/4" Overall Width: 16-3/8"
06	Free Standing Tub	Jacuzzi	KAM6534BCXXXXG	Resin	Overall Height: 24" Overall Length: 65" Overall Width: 34-5/8"
07	Shower System	Delta	DSS-Pivotal-17T01-BL	Matte Black	Shower Head Width: 5-11/16" Shower Arm Length: 16"
08	Shower Drain	Kohler	k-9132-bl	Matte Black	Height: 1-15/16" Length: 4-3/8" Width: 4-3/8"

CLIENT:

INTERIOR RENOVATION
MILLHAVEN -GLENN FOREST COMMUNITY

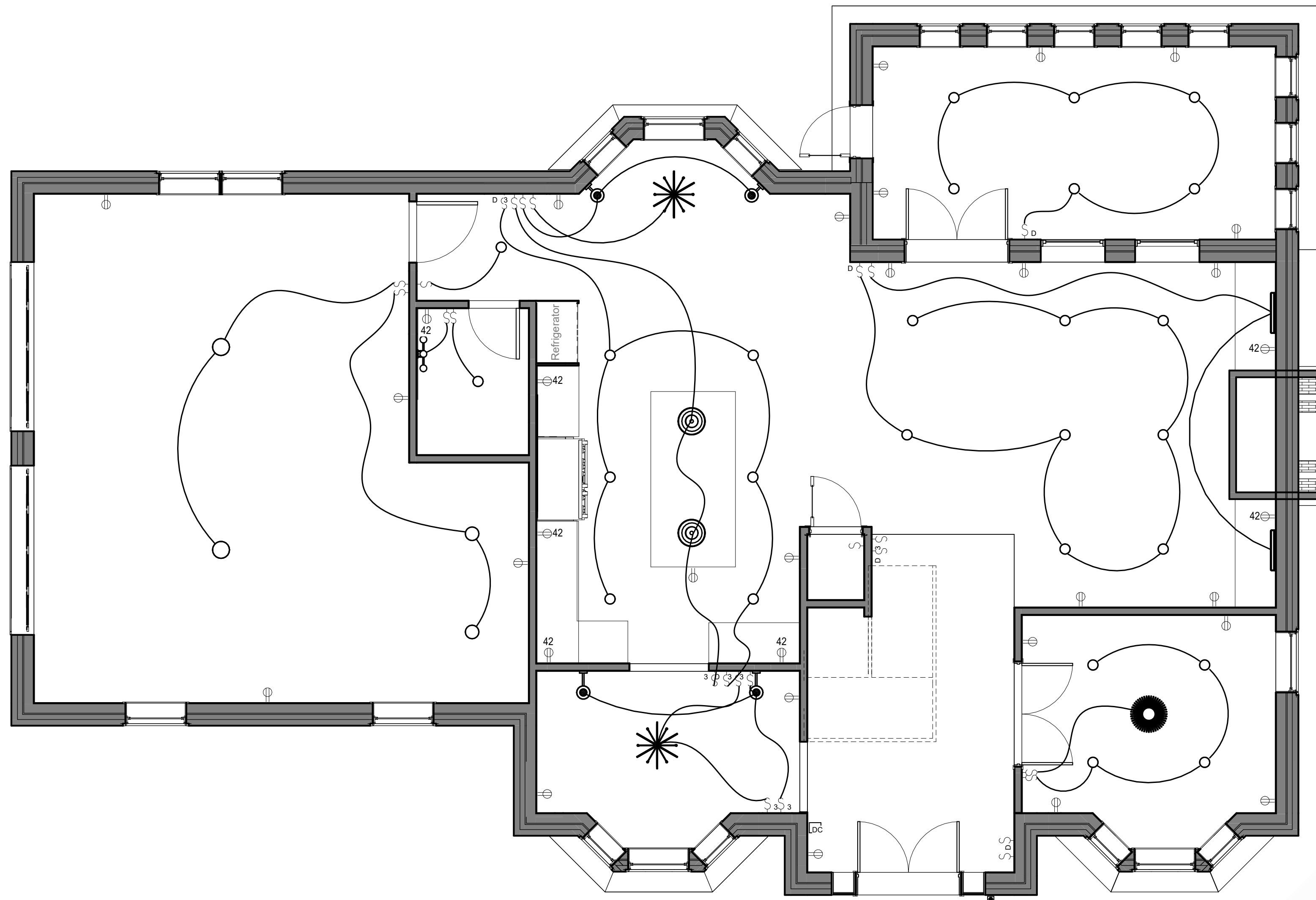
200 Dares Ferry Rd.
Spartanburg, SC 29302

ISSUE FOR: CODE REVIEW

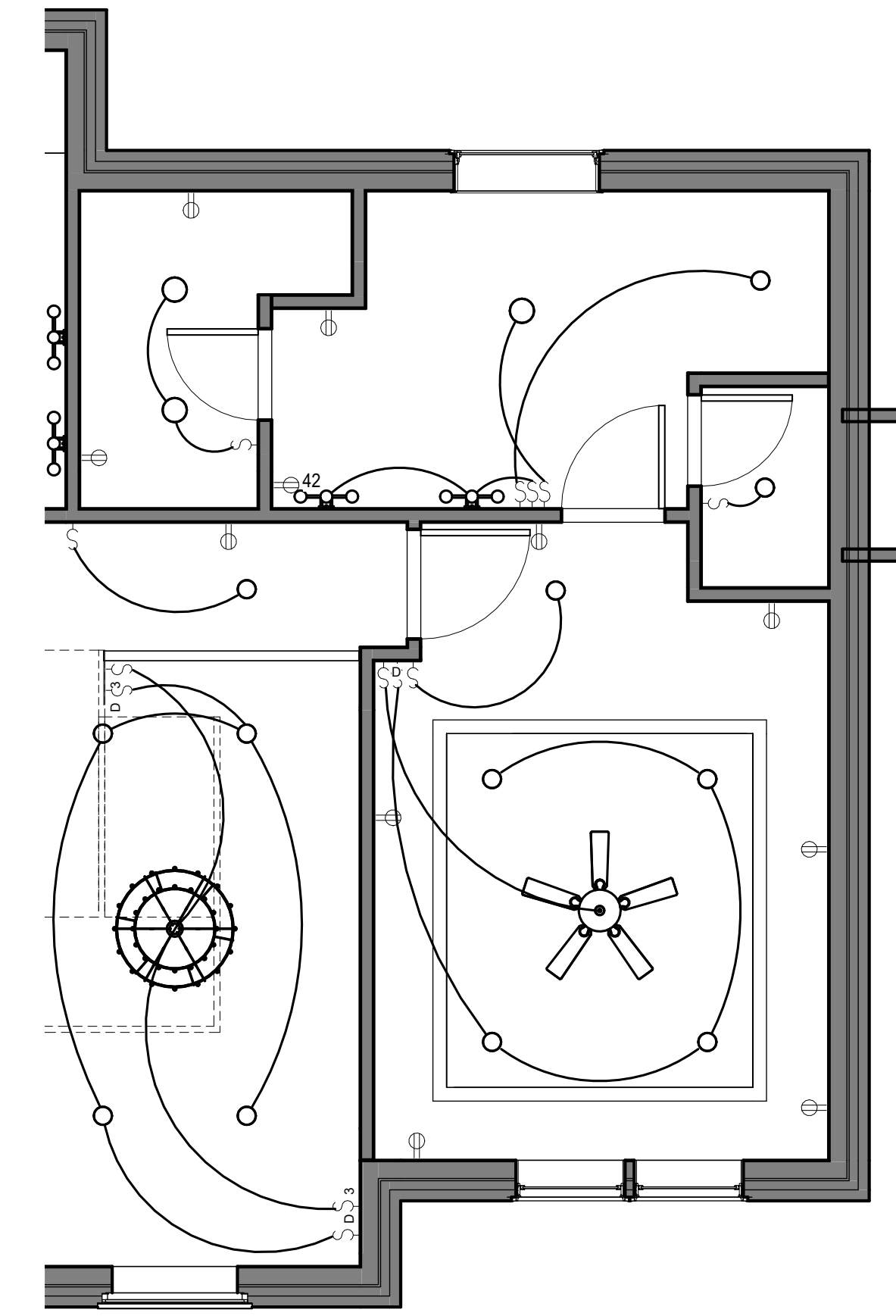
Date Issue Date

POWER & SIGNAL PLAN

A-9



2
A-9
Power & Signal Plan - Level 1
1/4" = 1'-0"



1
A-9
Power & Signal Plan - Enlarged Plan Level 2
1/4" = 1'-0"

ELECTRICAL LEGEND			
	DUPLEX RECEPTACLE		SWITCH SINGLE POLE
	DUPLEX SPLIT WIRED		SWITCH 3 WAY
	DUPLEX WATERPROOF		DATA
	DUPLEX GFCI, OVER COUNTERTOP OR SINK. NUMBER = INCHES A.F.F.		JUNCTION BOX
	DUPLEX 220 VOLT		DOORBELL
	DUPLEX FLOOR RECEPTACLE		DOORBELL CHIME
	DUPLEX FLOOR RECEPTACLE SPLIT WIRED		
	APPLIANCE, CONFIRM VOLTAGE WITH APPLIANCE MFR.		

GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SOUTH CAROLINA BUILDING CODE AND WITH THE REQUIREMENTS OF THE CITY OF SPARTANBURG, STATE & NATIONAL LAWS AND CODES, ANY DISCREPANCIES BETWEEN THE PLANS AND ABOVE REQUIREMENTS MUST BE CALLED TO THE ARCHITECTS ATTENTION BEFORE PROCEEDING WITH THE WORKS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE PLANS. HE MUST FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK AND REPORT TO THE ARCHITECT TO CLARIFY ANY DISCREPANCIES; CONTRACTOR MUST COORDINATE THE WORK OF ALL TRADES AND INSURE THAT ALL WORK CAN BE COMPLETE AS IT IS THE INTENT OF THE PLANS.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING HIS CONTRACTOR'S PERMITS, INSPECTIONS AND APPROVALS FROM GOVERNING AGENCIES WITH JURISDICTION OVER THE PROJECT BEFORE BEGINNING WORK.
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE REQUIREMENTS OF THE UTILITY COMPANIES INCLUDING THE CITY OF SPARTANBURG PUBLIC WORKS DEPARTMENT.
- ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- THE ARCHITECT WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
- ALL DRAWINGS AND COPIES THAT FORM PART OF THIS DOCUMENT FURNISHED BY THE ARCHITECT ARE THEIR PROPERTY. THEY ARE NOT TO BE USED ON OTHER WORK AND ARE TO BE RETURNED UPON DEMAND AT THE COMPLETION OF THE WORK. IF THESE DRAWINGS OR ANY PART THEREFORE ARE USED IN ANY MANNER WITHOUT THE CONSENT OF THE ARCHITECT, THE USER THEREOF BECOMES INDEBTED TO THE ARCHITECT FOR FULL PROFESSIONAL FEES.
- THE GENERAL CONTRACTOR MAY SUBSTITUTE EQUIPMENT AND/OR MATERIALS AS LONG AS SUCH CHANGES MEET ALL F.B. CODE REQUIREMENTS AND ARE EQUAL TO THOSE SPECIFIED ON PLANS AND OBTAINS OWNER'S APPROVAL IN WRITING AND BUILDING DEPARTMENT APPROVAL.
- GUARANTEES: THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT AGAINST DEFECTS OF EQUIPMENT, MATERIALS, AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE REPAIR AND REPLACE ALL SUCH DEFECTIVE WORK OR MATERIALS DURING THE TERM OF THE GUARANTEE.
- WORKMANSHIP: ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADE HIGHEST LEVEL OF WORKMANSHIP WILL BE REJECTED. ANY WORK REJECTED SHALL BE REDONE AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED, AT CONTRACTOR'S EXPENSE. CORRECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN FIVE DAYS AFTER NOTICE IS GIVEN THE CONTRACTOR.
- SAFETY OF PERSONS AND PROPERTY: THE CONTRACTOR IS RESPONSIBLE FOR ALL REASONABLE SAFETY PRECAUTIONS TO PROTECT PEOPLE AFFECTED BY THE WORK, THE WORK ITSELF AND OTHER PROPERTY AT THE SITE OR ADJACENT TO IT.
- IT IS A GENERAL REQUIREMENT THAT ALL MATERIAL AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE APPLICABLE STANDARD SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.
- CLEANUP: THE CONTRACTOR AND ALL TRADES SHALL AT ALL TIMES KEEP THE PREMISES CLEAN OF DEBRIS ARISING OUT OF THE WORK AND FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR OTHER TRADES. THE CONTRACTOR SHALL PROVIDE AT ALL TIMES A TRASH CONTAINER ADEQUATE FOR THIS JOB. THE CONTRACTOR SHALL DELIVER ALL WORK UPON COMPLETION OF THE JOB IN A CLEAN, READY-TO-USE CONDITION. ALL FINISHED SURFACES SHALL HAVE PROTECTIVE COVERINGS REMOVED, AND SURFACES CLEANED OF ALL MARKS, STAINS, SOIL, PAINT, OR ADHESIONS OF THE MATERIALS AND LEFT IN PERFECT CONDITION. BESIDES THE GENERAL VACUUM CLEANING, FINISHED SURFACES SHALL BE WASHED, WAXED AND POLISHED WHERE APPLICABLE. EXTERIOR AREAS AFFECTED BY CONSTRUCTION SHALL BE RAKED CLEAN OF DEBRIS. DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED.
- ALL DETAILS, SECTIONS, DIAGRAMS, ETC. INDICATED AS "TYPICAL" ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE PROJECT.
- DO NOT SCALE DRAWINGS. DIMENSIONS AND/OR EXISTING CONDITIONS GOVERN. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES

CLIENT:

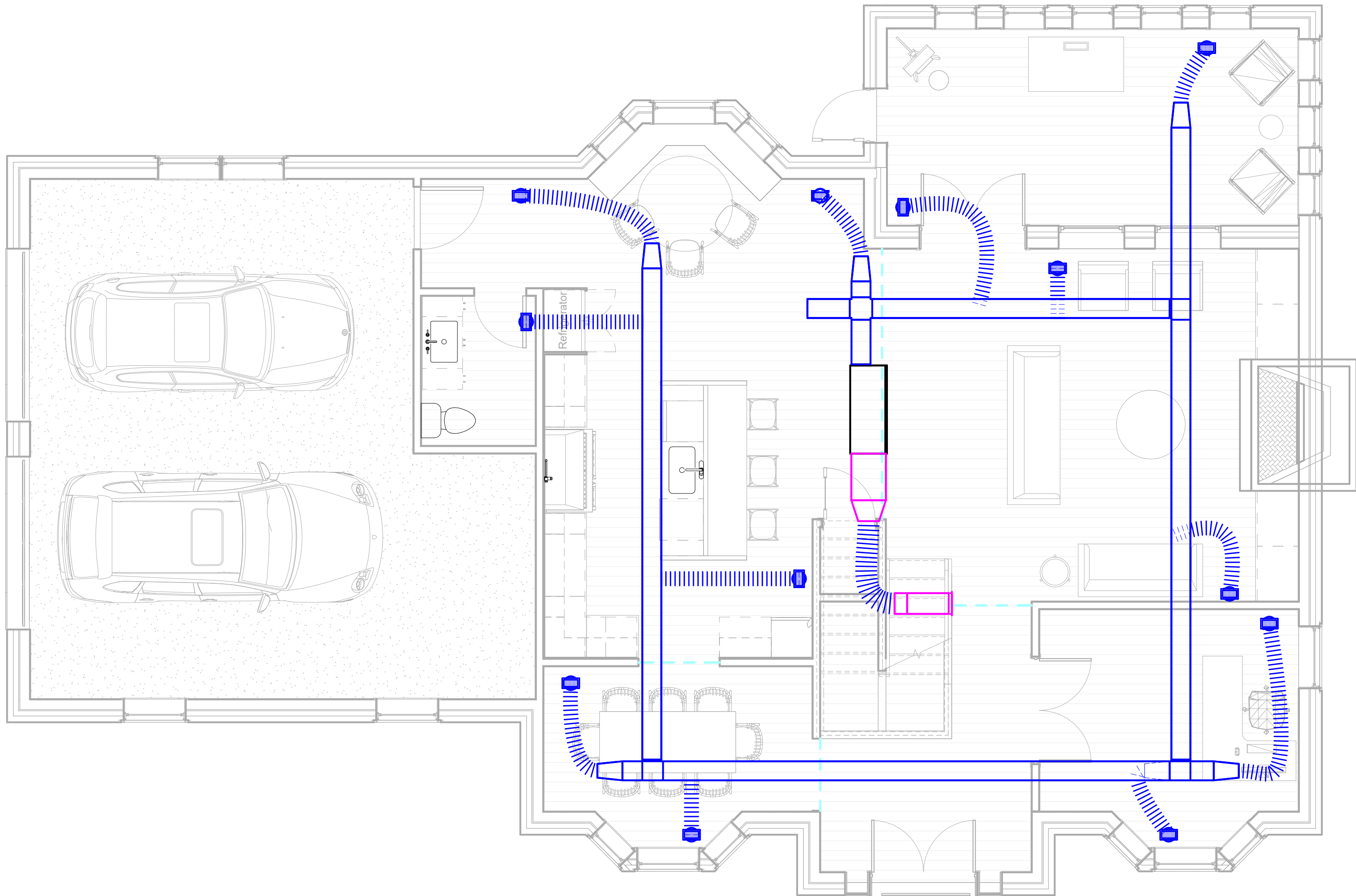
INTERIOR RENOVATION
MILLHAVEN -GLENN FOREST COMMUNITY
200 Dares Ferry Rd.
Spartanburg, SC 29302

ISSUE FOR: CODE REVIEW

Date Issue Date

MECHANICAL PLAN

A-10

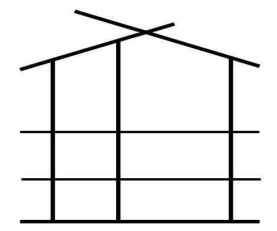


1
A-10 HVAC Plan - Level 1
1/4" = 1'-0"

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SOUTH CAROLINA BUILDING CODE AND WITH THE REQUIREMENTS OF THE CITY OF SPARTANBURG, STATE & NATIONAL LAWS AND CODES, ANY DISCREPANCIES BETWEEN THE PLANS AND ABOVE REQUIREMENTS MUST BE CALLED TO THE ARCHITECTS ATTENTION BEFORE PROCEEDING WITH THE WORKS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE PLANS. HE MUST FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK AND REPORT TO THE ARCHITECT TO CLARIFY ANY DISCREPANCIES: CONTRACTOR MUST COORDINATE THE WORK OF ALL TRADES AND INSURE THAT ALL WORK CAN BE COMPLETE AS IT IS THE INTENT OF THE PLANS.
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING HIS CONTRACTOR'S PERMITS, INSPECTIONS AND APPROVALS FROM GOVERNING AGENCIES WITH JURISDICTION OVER THE PROJECT BEFORE BEGINNING WORK.
4. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE REQUIREMENTS OF THE UTILITY COMPANIES INCLUDING THE CITY OF SPARTANBURG PUBLIC WORKS DEPARTMENT.
5. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
6. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
7. ALL DRAWINGS AND COPIES THAT FORM PART OF THIS DOCUMENT FURNISHED BY THE ARCHITECT ARE THEIR PROPERTY. THEY ARE NOT TO BE USED ON OTHER WORK AND ARE TO BE RETURNED UPON DEMAND AT THE COMPLETION OF THE WORK, IF THESE DRAWINGS OR ANY PART THEREFORE ARE USED IN ANY MANNER WITHOUT THE CONSENT OF THE ARCHITECT, THE USER THEREOF BECOMES INDEBTED TO THE ARCHITECT FOR FULL PROFESSIONAL FEES.
8. THE GENERAL CONTRACTOR MAY SUBSTITUTE EQUIPMENT AND/OR MATERIALS AS LONG AS SUCH CHANGES MEET ALL F.B. CODE REQUIREMENTS AND ARE EQUAL TO THOSE SPECIFIED ON PLANS AND OBTAINS OWNER'S APPROVAL IN WRITING AND BUILDING DEPARTMENT APPROVAL.
9. GUARANTEES: THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT AGAINST DEFECTS OF EQUIPMENT, MATERIALS, AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OR FINAL ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE REPAIR AND REPLACE ALL SUCH DEFECTIVE WORK OR MATERIALS DURING THE TERM OF THE GUARANTEE.
10. WORKMANSHIP: ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADE HIGHEST LEVEL OF WORKMANSHIP WILL BE REJECTED. ANY WORK REJECTED SHALL BE REDONE AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED, AT CONTRACTOR'S EXPENSE. CORRECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN FIVE DAYS AFTER NOTICE IS GIVEN THE CONTRACTOR.
11. SAFETY OF PERSONS AND PROPERTY: THE CONTRACTOR IS RESPONSIBLE FOR ALL REASONABLE SAFETY PRECAUTIONS TO PROTECT PEOPLE AFFECTED BY THE WORK, THE WORK ITSELF AND OTHER PROPERTY AT THE SITE OR ADJACENT TO IT.
12. IT IS A GENERAL REQUIREMENT THAT ALL MATERIAL AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE APPLICABLE STANDARD SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.
13. CLEANUP: THE CONTRACTOR AND ALL TRADES SHALL AT ALL TIMES KEEP THE PREMISES CLEAN OF DEBRIS ARISING OUT OF THE WORK AND FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR OTHER TRADES. THE CONTRACTOR SHALL PROVIDE AT ALL TIMES A TRASH CONTAINER ADEQUATE FOR THIS JOB. THE CONTRACTOR SHALL DELIVER ALL WORK UPON COMPLETION OF THE JOB IN A CLEAN, READY-TO-USE CONDITION. ALL FINISHED SURFACES SHALL HAVE PROTECTIVE COVERINGS REMOVED, AND SURFACES CLEANED OF ALL MARKS, STAINS, SOIL, PAINT, OR ADHESIONS OF THE MATERIALS AND LEFT IN PERFECT CONDITION. BESIDES THE GENERAL VACUUM CLEANING, FINISHED SURFACES SHALL BE WASHED, WAXED AND POLISHED WHERE APPLICABLE. EXTERIOR AREAS AFFECTED BY CONSTRUCTION SHALL BE RAKED CLEAN OF DEBRIS. DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED.
14. ALL DETAILS, SECTIONS, DIAGRAMS, ETC. INDICATED AS "TYPICAL" ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE PROJECT.
15. DO NOT SCALE DRAWINGS. DIMENSIONS AND/OR EXISTING CONDITIONS GOVERN. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES

THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF ANNA LEE AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER. ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION. COPY WRITE 2022



ANNA LEE
INTERIOR DESIGN

CLIENT:

INTERIOR RENOVATION
MILLHAVEN -GLENN FOREST COMMUNITY
200 Dares Ferry Rd.
Spartanburg, SC 29302

ISSUE FOR: CODE REVIEW

Date Issue Date

SPECIFICATIONS

A-11

11/29/2022 5:01:58 PM

Finish Schedule							
Number	Name	Floor Finish	Walls				Ceiling Finish
			North	South	East	West	
3	GARAGE	STN-2 Concrete	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
4	PWDR	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
5	KITCHEN	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
2	DINING ROOM	STN-1 Hardwood	P-1 SW 7636 Origami White	P-2 SW 6178 Clary Sage	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
1	FOYER	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
8	OFFICE	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
6	LIVING ROOM	STN-1 Hardwood	P-2 SW 6178 Clary Sage	P-2 SW 6178 Clary Sage	P-2 SW 6178 Clary Sage	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
7	SUNROOM	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
9	MASTER BEDROOM	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-2 SW 6178 Clary Sage	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
10	MASTER BATH	STN-3 Tile	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White
11	MASTER CLOSET	STN-1 Hardwood	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	P-1 SW 7636 Origami White	SW 7007 Ceiling Bright White

PLUMBING FIXTURE SCHEDULE

Type Mark	Description	Manufacturer	Model	Finish	Dimensions
01	Kitchen Undermount Sink	Kohler	K-3821-1-NA	Stainless Steel	Height: 9-5/16" Overall Width: 22" Overall Length: 33"
02	Kitchen Faucet	Kohler	9159T-BL-DST	Matte Black	Overall Height: 15-2/3" Spout Height: 8-4/9"
03	Bathroom Undermount Sink	Kohler	K-2297-0	Vitreous china	Overall Length: 23-7/8" Overall Width: 15-5/8" Overall Height: 6-3/4"
04	Bathroom Faucet	Moen	T6142BL	Matte Black	Overall Height: 8-15/16" Spout Height: 8"
05	Toilet	Kohler	K-5172-0	Vitreous china	Overall Height: 25-5/16" Overall Depth: 27-3/4" Overall Width: 16-3/8"
06	Free Standing Tub	Jacuzzi	KAM6534BCXXXXG	Resin	Overall Height: 24" Overall Length: 65" Overall Width: 34-5/8"
07	Shower System	Delta	DSS-Photal-17T01-BL	Matte Black	Shower Head Width: 5-11/16" Shower Arm Length: 16"
08	Shower Drain	Kohler	k-9132-bl	Matte Black	Height: 1-15/16" Length: 4-3/8" Width: 4-3/8"

APPLIANCE SCHEDULE

Type Mark	Manufacturer	Description	Model	Dimensions
01	SUBZERO	French Door Refrigerator	BI-42UFDID/S	42" W x 84" H x 24" D
02	Wolf	Range	GR484DG	47 7/8" W x 37" H x 28 3/8" D
03	Cove	Dishwasher	DW2450WS	23 5/8" W x 34 1/2" H x 23 1/4" D
04	SUBZERO	Wine Cooler	DEU2450BG L	24" W x 34 1/2" H x 23 1/8" D
05	Wolf	Drawer Oven Microwave	MD24TE/S	24" W x 17 7/8" H x 20" D

FURNITURE SCHEDULE

TYPE MARK	Description	Manufacturer	Model #	WIDTH	DEPTH	Height
01	Sofa	Bernhardt Design	BHT11315	100"	39"	33"
02	Loveseat	Bernhardt Design	P000515048	62"	37"	33"
03	Armchair	Wayfair	HPL5298	28.25"	32.75"	30"
04	Coffee Table	Lifestyle Furniture		31.5"	31.5"	16"
05	Side Table	Bolia	3060609	17.3"		25"
06	Circular Dining Table	Article	SKU379	47"		29"
07	Dinning Chair	West Elm	5545709	20"	21"	31"
08	Barstool	Luxury Furnitures	P001477989	16"	12"	31"
09	Rectangular Dining Table	West Elm	1516873	86"	38"	30"
10	Side Table	West Elm	2403692	18.1"		21.2"
11	Bed	Caracole Classic	DRRU1693	85"	80.5"	60"
12	Nightstand	All Modern	A001306629	17.75"	14"	23"
13	Lounge Chair	Overstock	38940903	37"	27"	29"